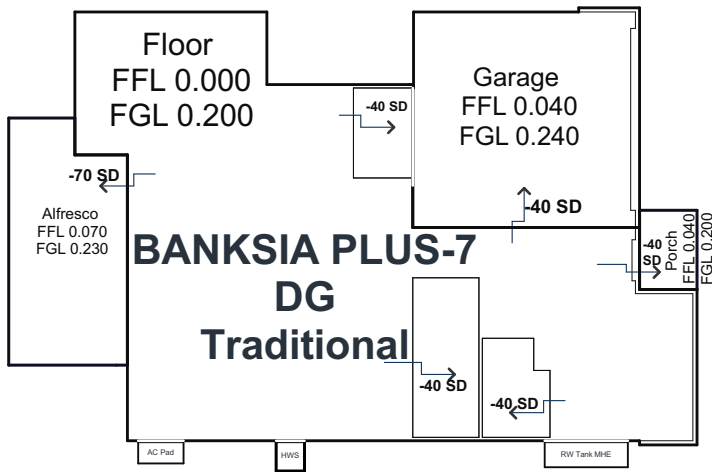
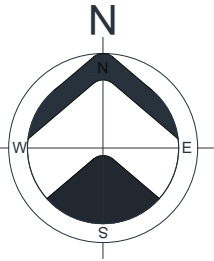


Layout No:	Layout Name	Rev
01.1	Cover Sheet	
01.2	Site	
01.3	Ground Floor	
01.4	Elevation A/B	
01.5	Elevation C/D	
01.6	Section X/Y	
01.7	Site Analysis	
01.8	Fencing & Retaining Layout	
01.9	Retaining Wall Details	
01.10	Waste & Drainage	
01.11	Slab Setout Ground	
01.12	Slab Details	
01.13	Sub Floor Ground	
01.14	Slab Relocation Plan	
01.15	Ground Floor Electrical	
01.16	Wall Section 1	
01.17	Associated Details 1	
01.18	Associated Details 2	
01.19	Tile Specification	
01.20	Ensuite - Laundry	
01.21	Bath	
01.22	Kitchen	
01.23	Colour Application	
01.24	Paint Application	
01.25	Colour Perspectives	
01.26	Landscape	
01.27	Landscape Details	
01.28	Solar Panel Layout	
01.29	Furniture Layout	
01.30	WHS Plan	

REV: A. ##.##.####





DRAWING REVISIONS  
A. ###.###.#### INI - List variations.

**NOTE:** Also Refer To Index Sheet For Additional Plans.

- Waste & Drainage.
- Fencing & Retaining.
- Slab Setout.
- Site Analysis.
- Landscape.

**GENERAL NOTES:**

- Landscaping To The Front & Rear Yards As Indicated On The Landscape Plan.
- Retaining Wall Where Required By Builder.
- Provide An Edgeboard Survey To Confirm The Position Of The Home & Finished Floor Levels.
- Provide 1800mm High Chain Wire Temporary Safety Fencing In Accordance With Work Cover Requirements Under The Occupational Health & Safety Act To All Unfenced Boundaries Including Double Hinged Gates To Front Access.

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		Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au	ALL RIGHT RESERVED. This plan is the property of Allam Homes pty Ltd. Copyright in this document is owned by Allam Homes pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty Ltd.	BANKSIA PLUS-7 DG  Traditional	Site Address  Allam Homes Pty Ltd Lot ### Street name Suburb (Estate) NSW	SITE INSTRUCTIONS		Site		Last Amended		Scale				
						GENERAL:	F	01.09.20	Revision/Date/Version		Serial		CAE	1:200		
							HOUSE:	0					01.07.20	Job No		Sheet
								A. ##.##.####.v22					1BK7108000		Job no.	01.2

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BiMcloud: AHBIM03 - BiMcloud/MHE Masters V27/BANKSIA/Traditional/Banksia PLUS-7 DG Traditional

REV: A. ###.###.####

MASTER

\*Weather strips/seals to all external  
hung doors

**A/C** Air Con Fan Unit



Return Air



## Man Hole

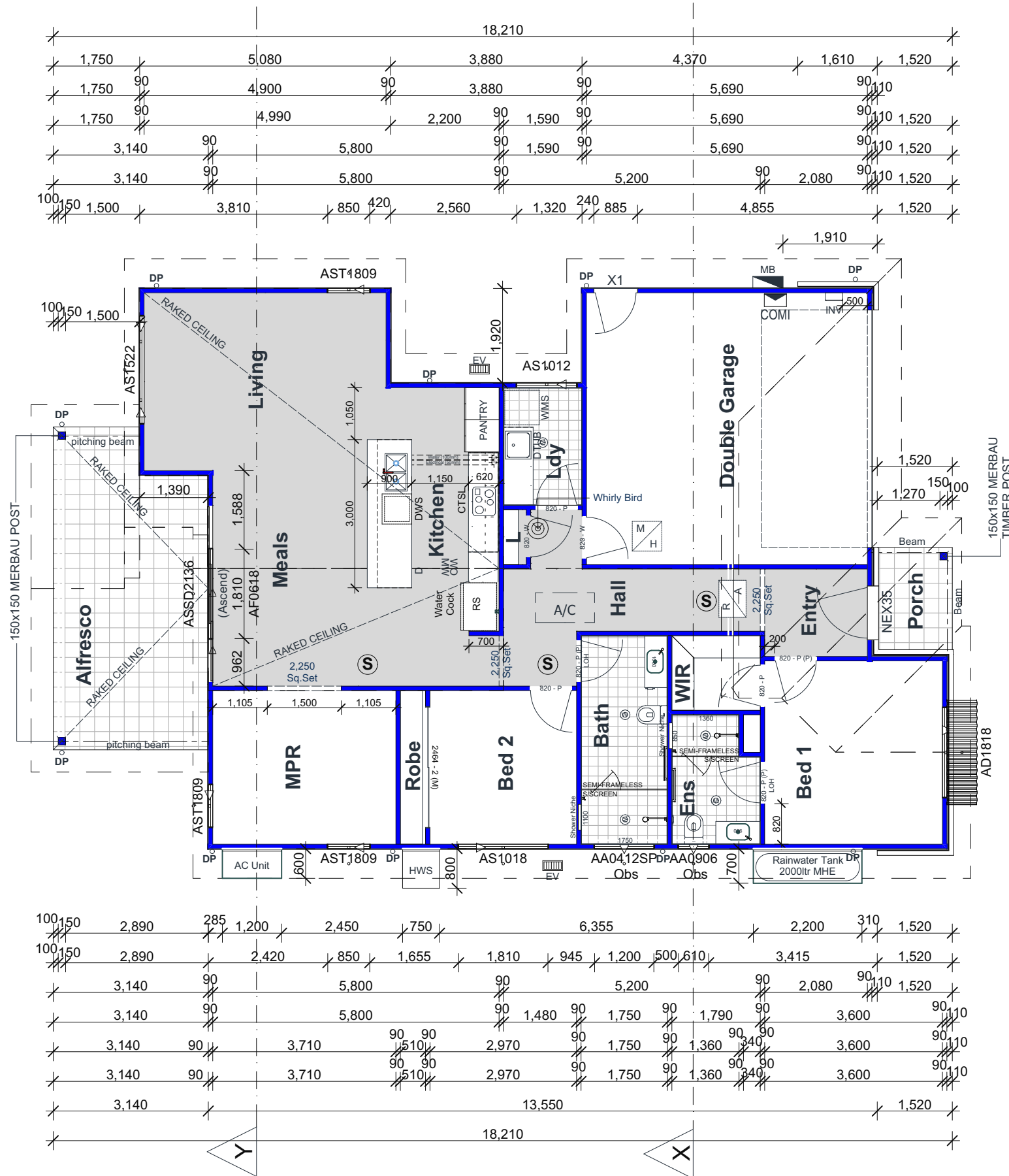
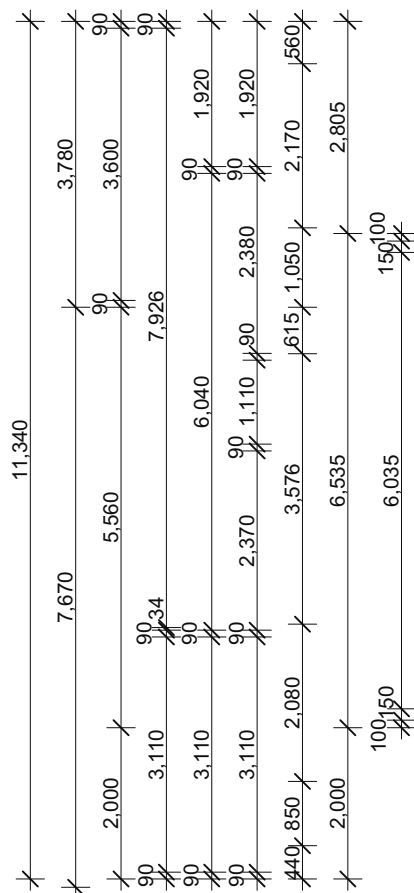


### Whirly Bird (300mm Throat Dia)



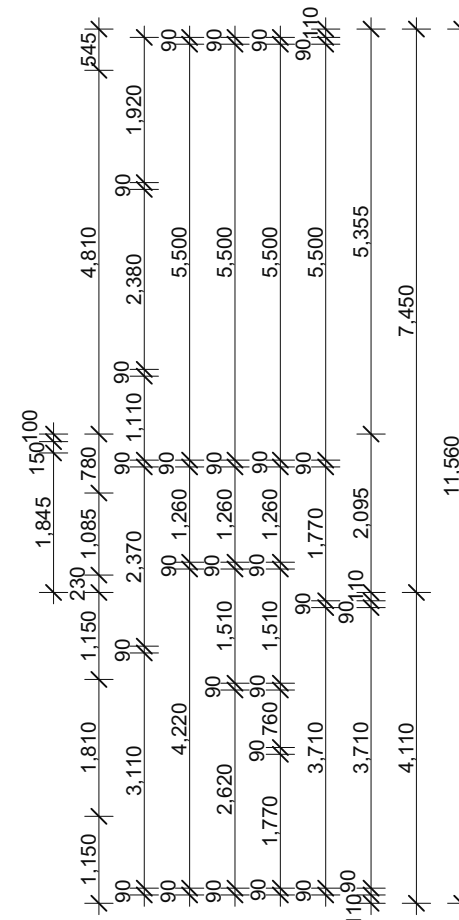
Eave Vent (400x200mm)

E = Entrance  
P = Passage  
(P) = Privacy  
W = Wardrobe  
LOH = Lift Off Hinge



**NOTE:  
REFER TO SLAB SETOUT  
FOR CONCRETE LAYOUT.**

**SHADED AREA DENOTES  
VINYL FLOORING UNLESS  
OTHERWISE SPECIFIED ON  
THE JOB SPECIFIC COLOUR  
SELECTION SHEET**



REV: A. ##.##.####

# MASTER

FLOOR AREAS	
ALFRESCO	19.16
GARAGE	34.34
GROUND	123.55
PORCH	3.18
	<b>180.23 m<sup>2</sup></b>

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**BANKSIA PLUS-7 DG**  
*Traditional*

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

## SITE INSTRUCTIONS

GENERAL:

HOUSE:

## Ground Floor

F	01.09.20	Revision/Date/Version
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0	01.07.20	A. ##.##.####.V22
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Serial
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1BK7108000

	Last Amended
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CAE

	Job No
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Job no.

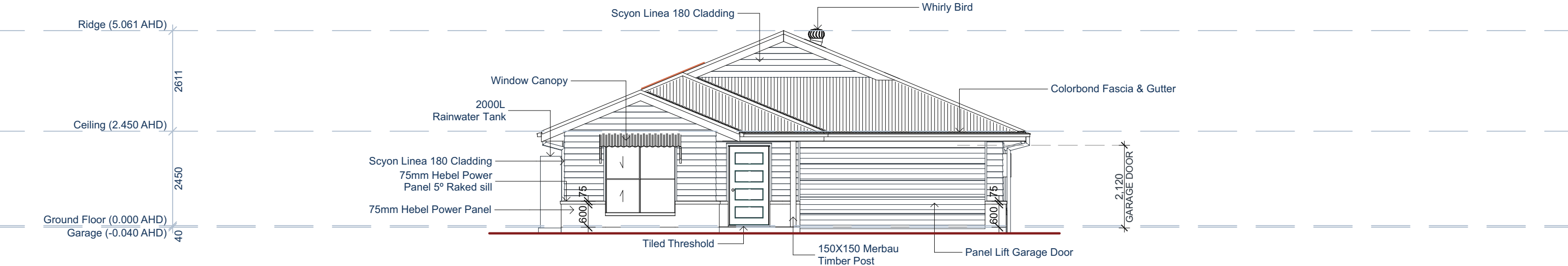
Scale

1:100

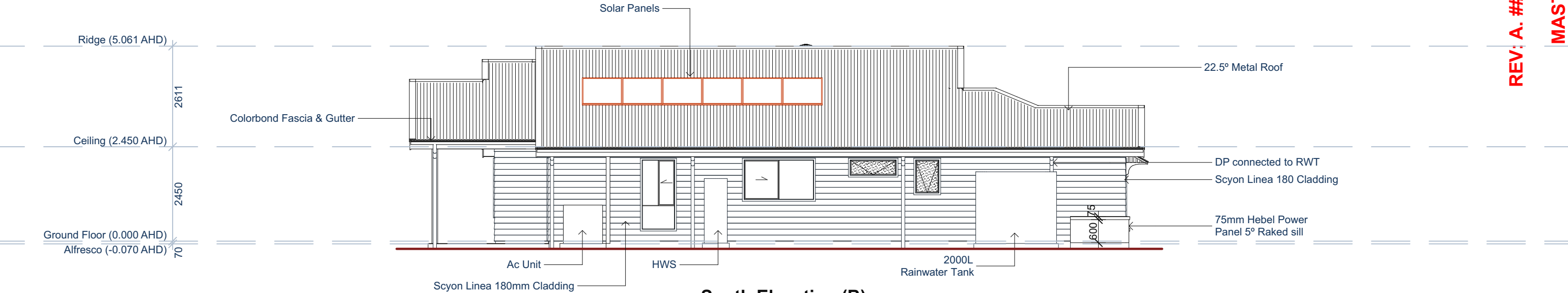
Sheet

### 01.3

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East Elevation (A)



South Elevation (B)

**General Notes:**

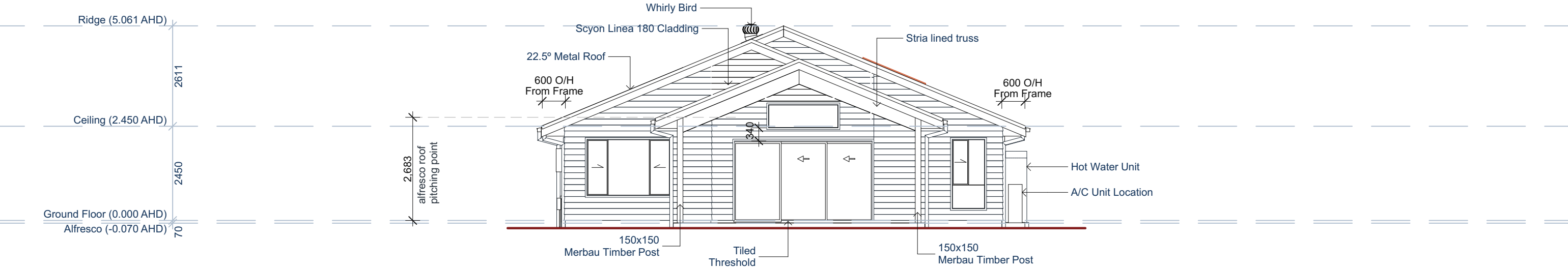
- \* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind downpipes where possible.
- \* All verges 200mm unless otherwise noted
- \* Provide cover strip to entry doors
- \* Provide cover strip to entry doors
- \* Refer to floor plans/window schedule for Restricted opening windows (BCA)

Indicates Obscure Glazing  
(Refer floor plans/window schedule)

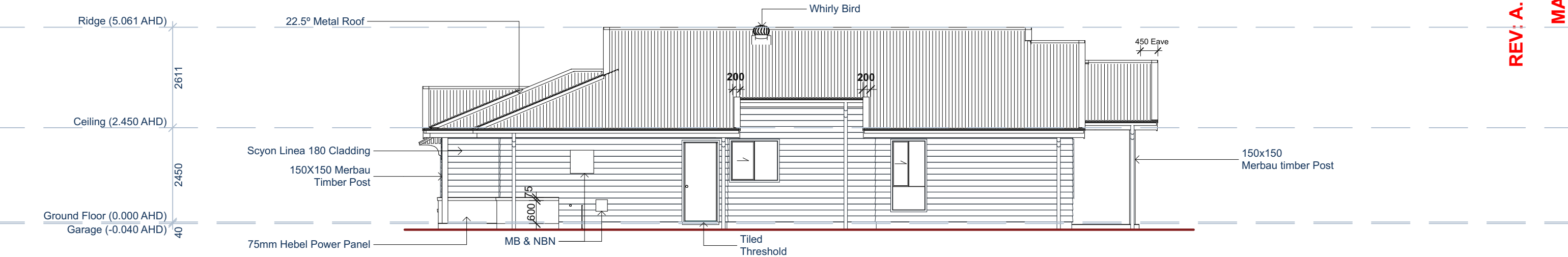
**Glazing**

Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installation, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

REV: A. ##.##.####  
MASTER



West Elevation (C)



North Elevation (D)

**General Notes:**

- \* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind downpipes where possible.
- \* All verges 200mm unless otherwise noted
- \* Provide cover strip to entry doors
- \* Provide cover strip to entry doors
- \* Refer to floor plans/window schedule for Restricted opening windows (BCA)

Indicates Obscure Glazing  
(Refer floor plans/window schedule)

**Glazing**

Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installation, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

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MASTER

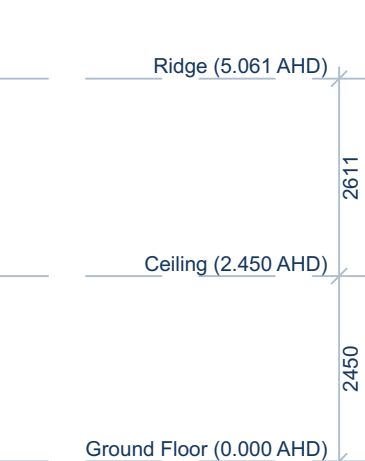


Diagram illustrating vertical levels and distances:

- Ridge (5.061 AHD)
- Ceiling (2.450 AHD)
- Ground Floor (0.000 AHD)
- Garage (-0.040 AHD)

Vertical distances:

- 2611 (between Ridge and Ceiling)
- 2450 (between Ceiling and Ground Floor)



REV: A. ##.##.####

MASTER

**WARNING: ALL D**

**ALLAM**  
Lifestyle COMMUNITIES

**M**  
**MONTEREY**  
CAMDEN HAVEN

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Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

SITE INSTRUCTIONS		<b>Section X/Y</b>			Last Amended CAE	Scale 1:100
GENERAL:	F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
HOUSE:	0	01.07.20	A ## ## #### V2?	1BK7108000	Job no.	01.6

LIGHTING & VENTILATION TABLE					
Zone Name	Floor Area Total	Natural Lighting Area Required (Min. 10%)	Proposed Natural Lighting Area	Natural Ventilation Area Required (Min. 5%)	Proposed Natural Ventilation Area
Bed 1	13.356	1.356	3.073	0.682	0.728
Bed 2	9.237	0.923	1.777	0.461	0.899
Meal/Kitchen	28.95	2.868	6.981	1.434	4.625
Living	17.640	1.764	4.396	0.882	2.03
MPR	11.54	1.154	2.955	0.577	0.959



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**BANKSIA PLUS-7 DG**  
*Traditional*

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

## SITE INSTRUCTIONS

GENERAL:	F	01.09.20
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HOUSE:	0	01.07.20
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## Fencing & Retaining Layout

Revision/Date/Version

A. ##.##.####.V22

Serial

1BK7108000

Fast Amended	
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CAE

Job No	
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REV: A. ##.##.###

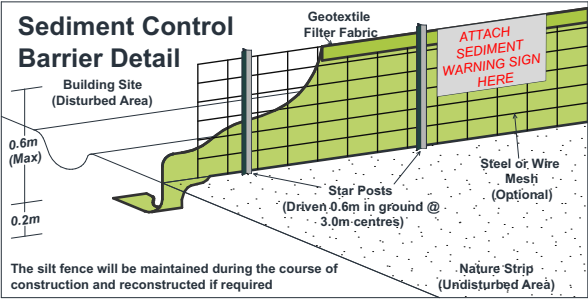
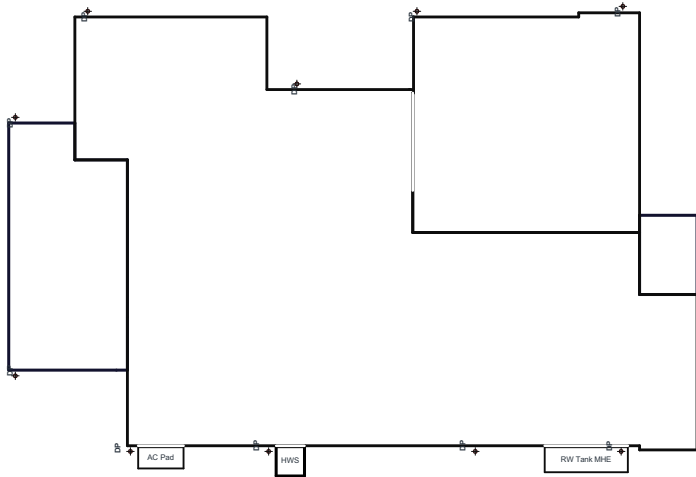
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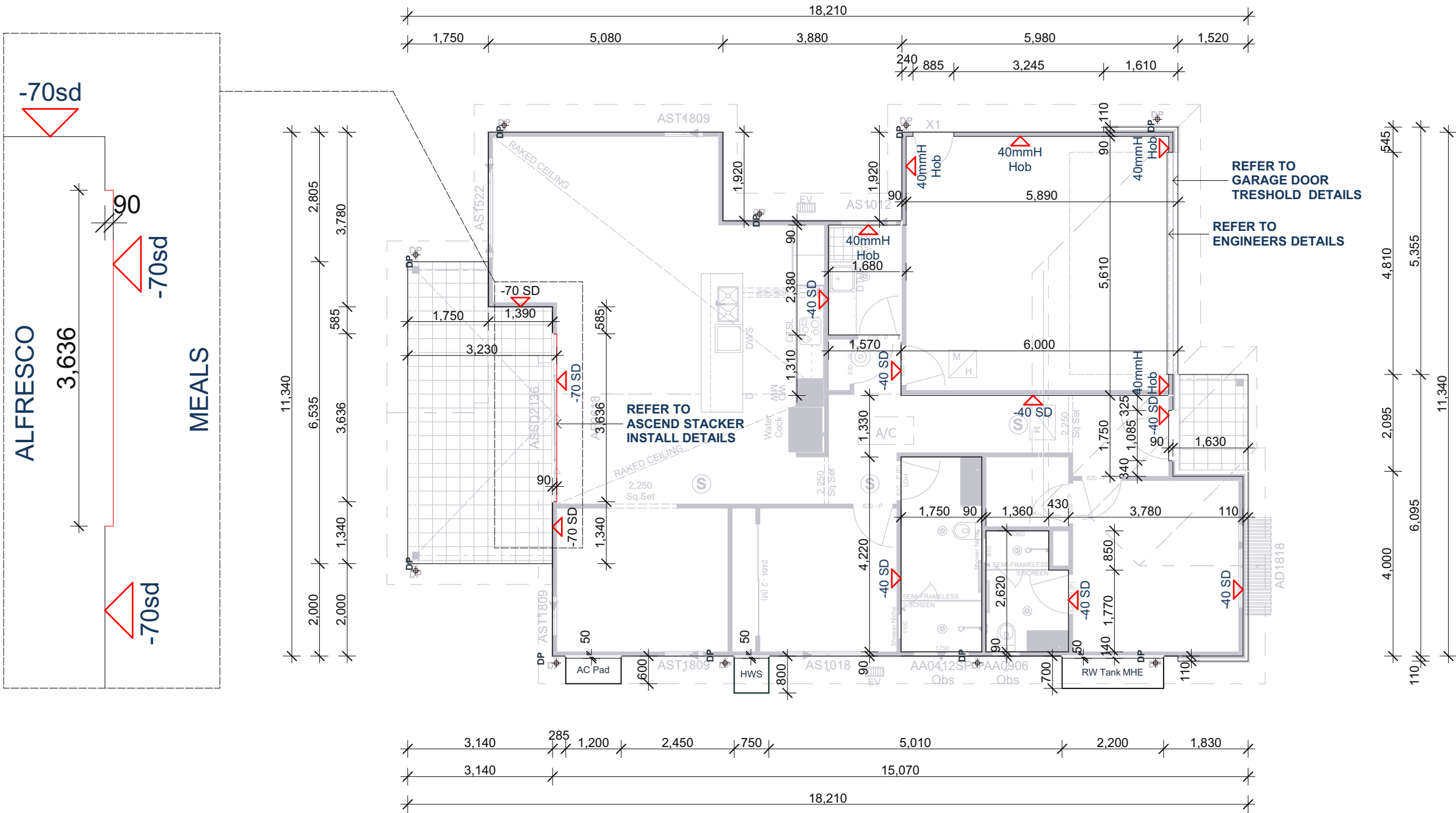
REV: A. ##.##.####

MASTER





NOTE.  
HOUSING RETAINING WALL SUBSOIL DRAINAGE TO CONNECT TO EXISTING CIVIL  
RETAINING WALL SUBSOIL DRAINAGE LINE.  
SUBSOIL DRAINAGE LINE IS TO EXIT SITE VIA A SILT PIT TO DEDICATED DISCHARGE  
POINT COMPLYING WITH APPROPRIATE AUTHORITY.  
DO NOT CONNECT ROOF & SURFACE WATER DRAINAGE LINES TO RETAINING WALL  
SUBSOIL DRAINAGE LINE.  
STORMWATER & SUBSOIL DRAINAGE IS TO COMPLY WITH ABCB HOUSING  
PROVISIONS STANDARD 2022 PART 3.3





**Termite shields**  
Shields, barriers or the like must be provided in accordance with AS 3660.1-2000Termite management—new building work and structures, as in force on 1 September 2005, to protect any structural members that are susceptible to attack by termites.


NOTE: All Measurements Are Taken From External Edge Of Slab


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		<p>Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au</p>	<p>ALL RIGHT RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.</p>	<p><b>BANKSIA PLUS-7 DG</b> <i>Traditional</i></p>	<p>Site Address Allam Homes Pty Ltd Lot ### Street name Suburb (Estate) NSW</p>	SITE INSTRUCTIONS	<b>Slab Setout Ground</b>			Last Amended	Scale	
						GENERAL:	F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
						HOUSE:	0	01.07.20	A. ##.##.####.V22	1BK7108000	Job no.	01.11
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REV: A. ###.###.####


MASTER





- 


Ceiling Compact Fluro
- 


Downlight LED
- 2W




Denotes two way control
- 


Internal Wall @ 1900
- 


External Wall @ 1900
- 


Light/Heat/Fan (Ducted To External)
- 


Light Switch
- 


LED Light


- 


Data Point @ 300 (above FL)
- 


T.V. Point @ 300 (above FL)
- 


Electric Hot Water System
- 


Smoke Alarm
- 


Air-conditioner Fan Unit
- 


Meter Box
- 


Internal COMS
- 


Alarm Key Panel
- 


Alarm Control Box
- 

Single GPO
- 

Double GPO
- 

Single Ext GPO
- 

Double Ext GPO
- 

Ceiling Fan
- 

Ceiling Fan (Incorporated Light)

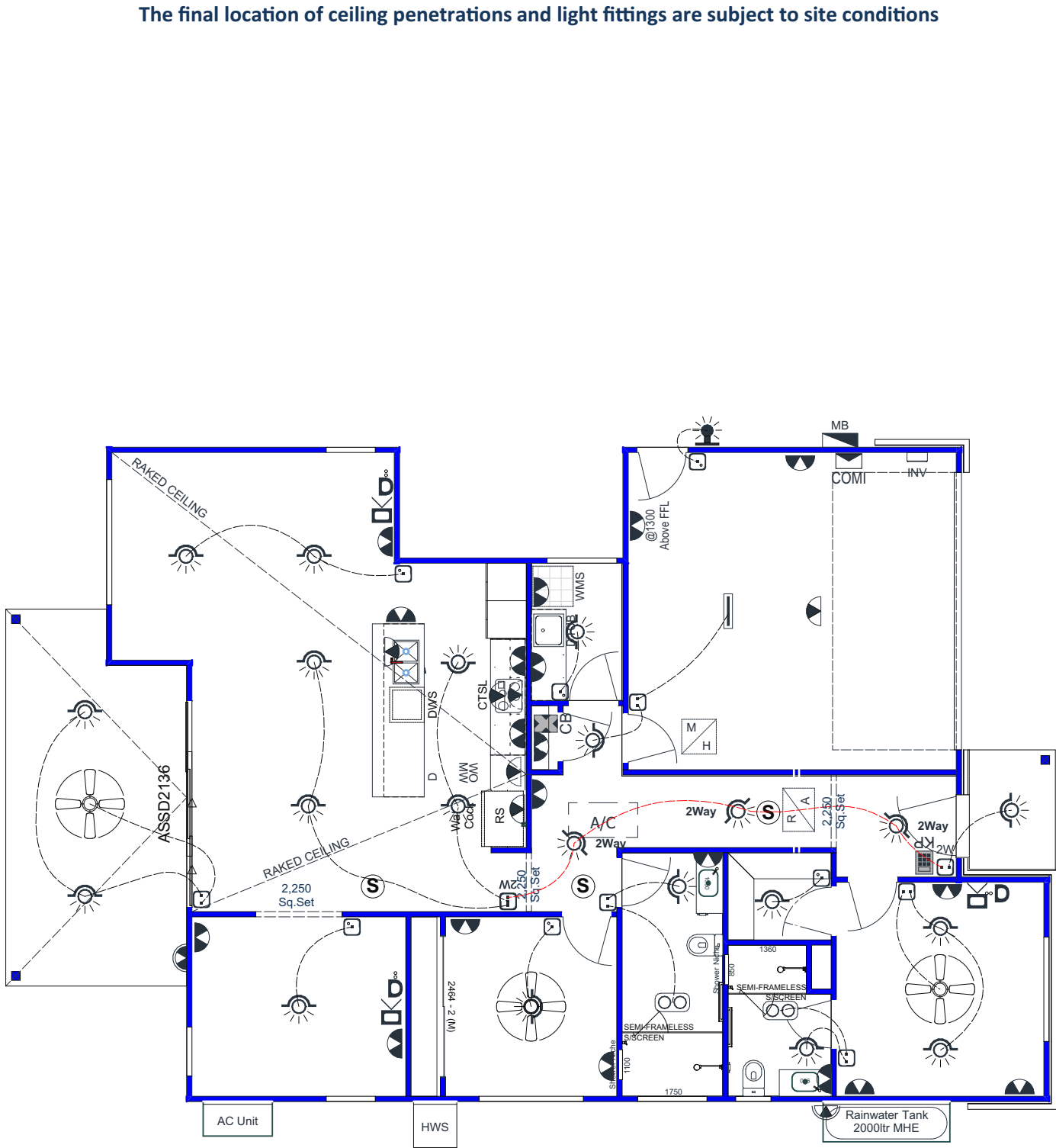
**Actron Air Standard Unit Specification (Single Phase)**  
Model: **CRS13AS / EVA13AS**  
Net (rated) Capacity (KW) Cooling: **13.02 KW**  
Heating: **15.0 KW**  
EER Rated Cooling: **3.35 KW**  
EER Rated Heating: **3.51 KW**

**General Notes: NCC Approval**

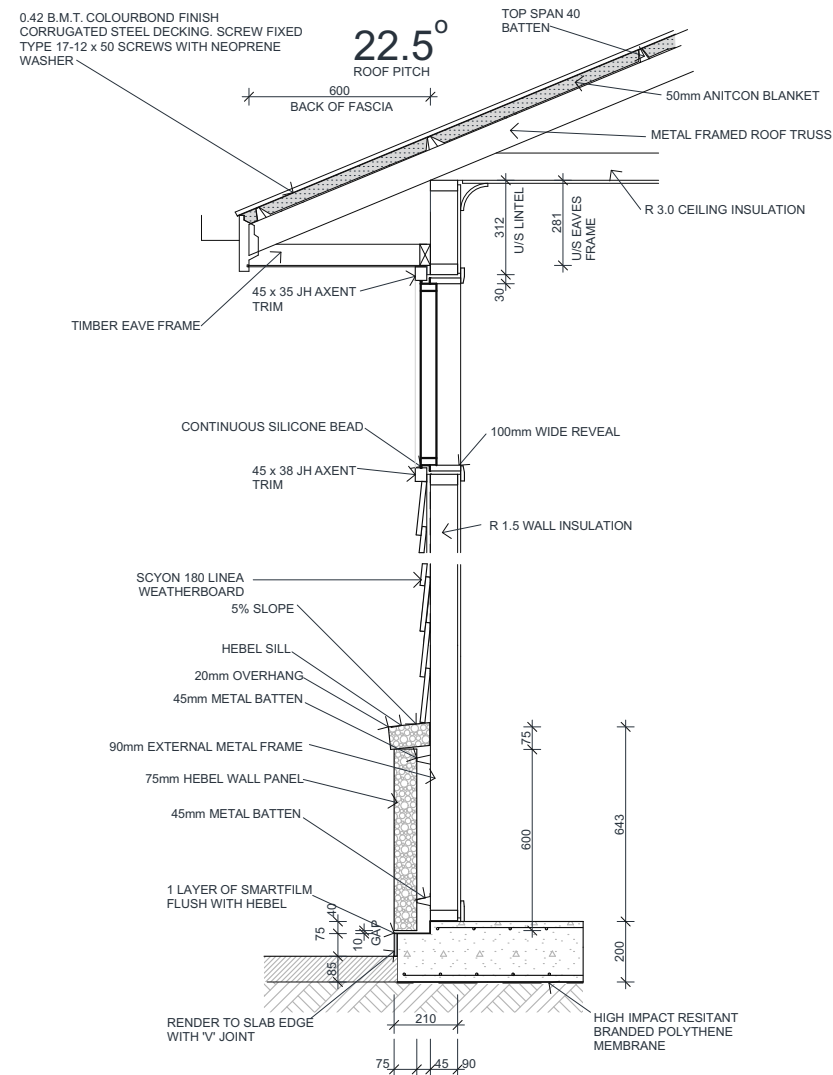
1. All heights measured from the main floor level unless otherwise noted.
2. Light switches @ 1300mm above FFL wall mounted.
3. Top of Meter box to be 1900mm maximum above ground level.
4. Provide Smoke Alarms in accordance with NCCS Vol 2: Clause 9.5.
5. Double GPO to meter box.

**Electrical wiring**

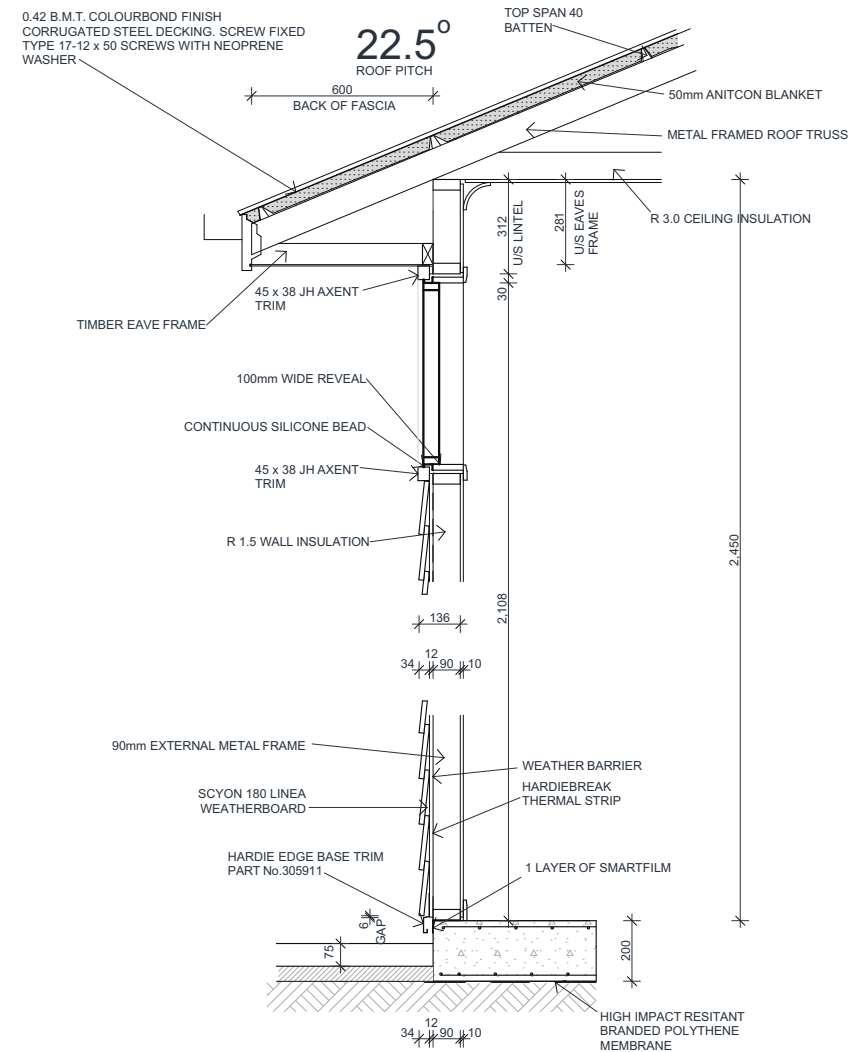
The electrical wiring in a manufactured home must comply with the requirements of AS/NZS 3000:2000.



GPO Height Table			
Room Location	Item	Height (mm)	
Kitchen	GPO	1100	
	REF	2050	
	RH	1900	
	DW	500	
	MW	600/1200	
Laundry	GPO	1300	
Bath/Ens/Pow	GPO	1300	
Garage	GPO	1200	
	Roller Door	2000	
	Panel Door	Ceiling	
	External GPO	1000	
Note :			
All general room GPO's are to measure 300mm above main floor level unless otherwise noted.			



PERIMETER BEAM - HOUSE  
TYPE C - COMPOSITE HEBEL (75mm) & SCYLON  
LINEA 180 (16mm) WALL



PERIMETER BEAM - HOUSE  
TYPE B - FULL SCYLON LINEA 180 (16mm) WALL

REV: A. ##.##.####  
MASTER

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**BANKSIA PLUS-7 DG**  
*Traditional*

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

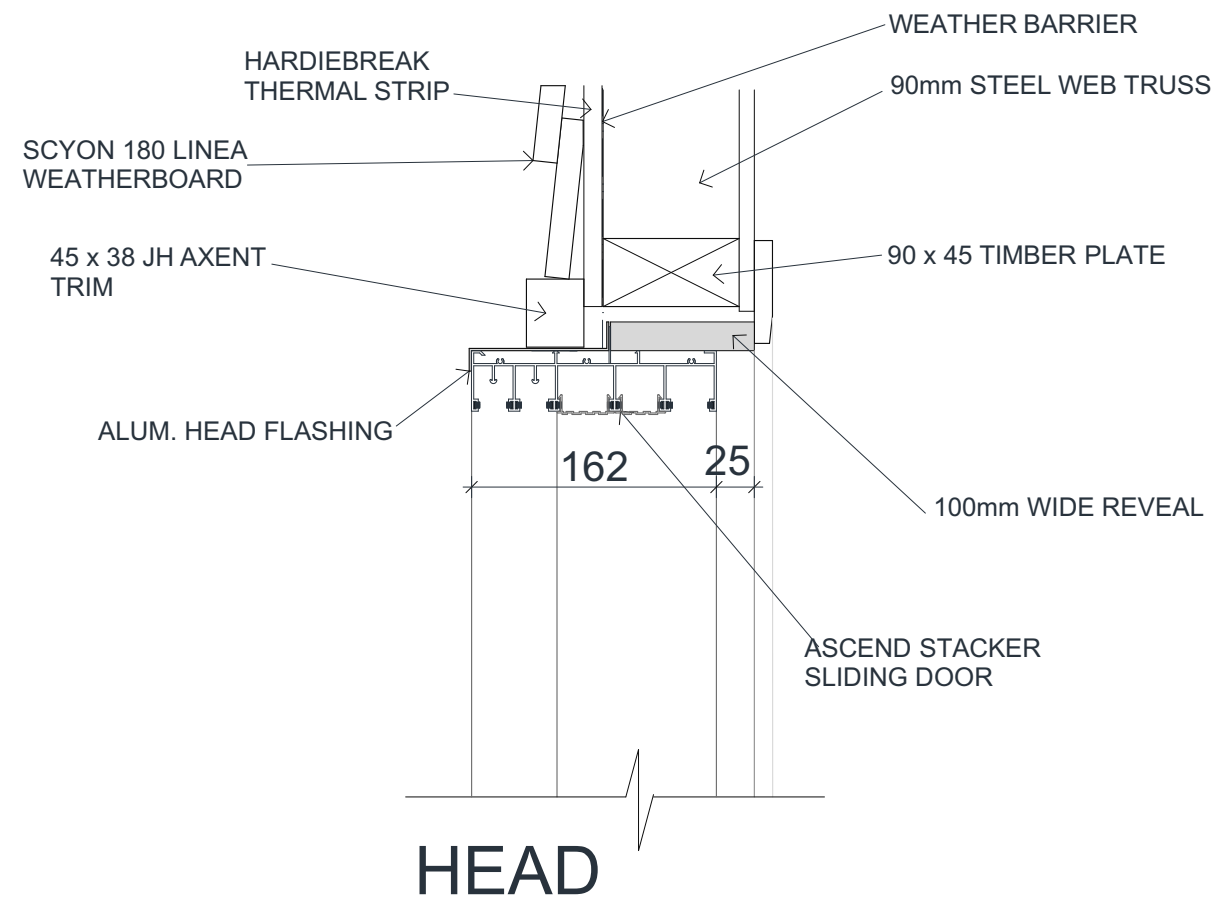
SITE INSTRUCTIONS  
GENERAL: F  
HOUSE: 0

**Wall Section 1**

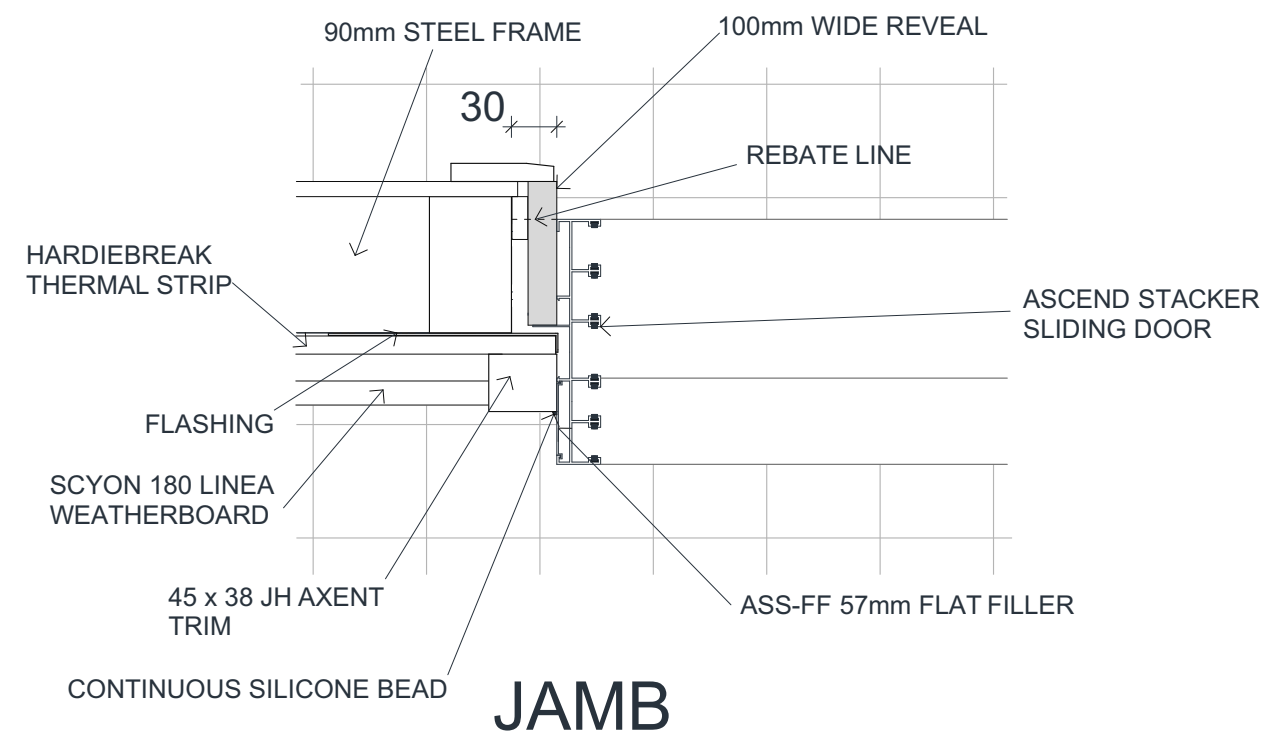
Revision/Date/Version  
A. ##.##.####.V22

Serial  
1BK7108000

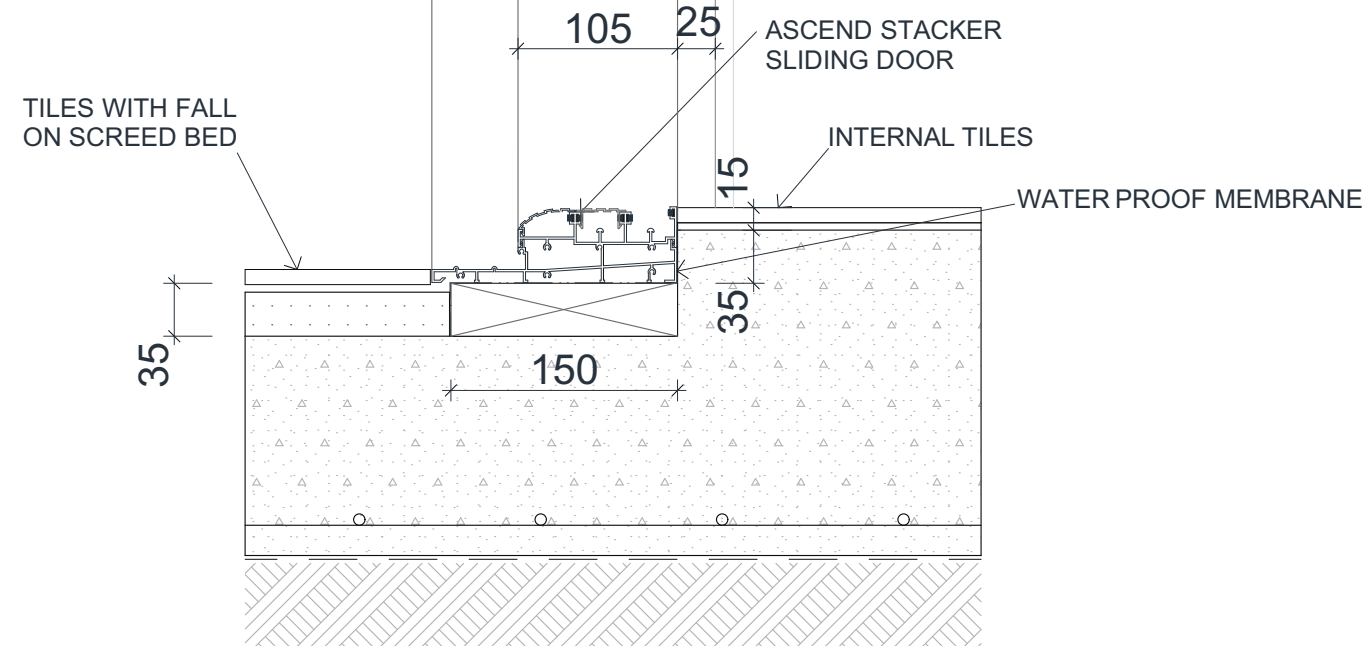
Last Amended  
CAE  
Job No  
**Job no.**  
Scale  
REFER TO DETAIL  
Sheet  
01.16



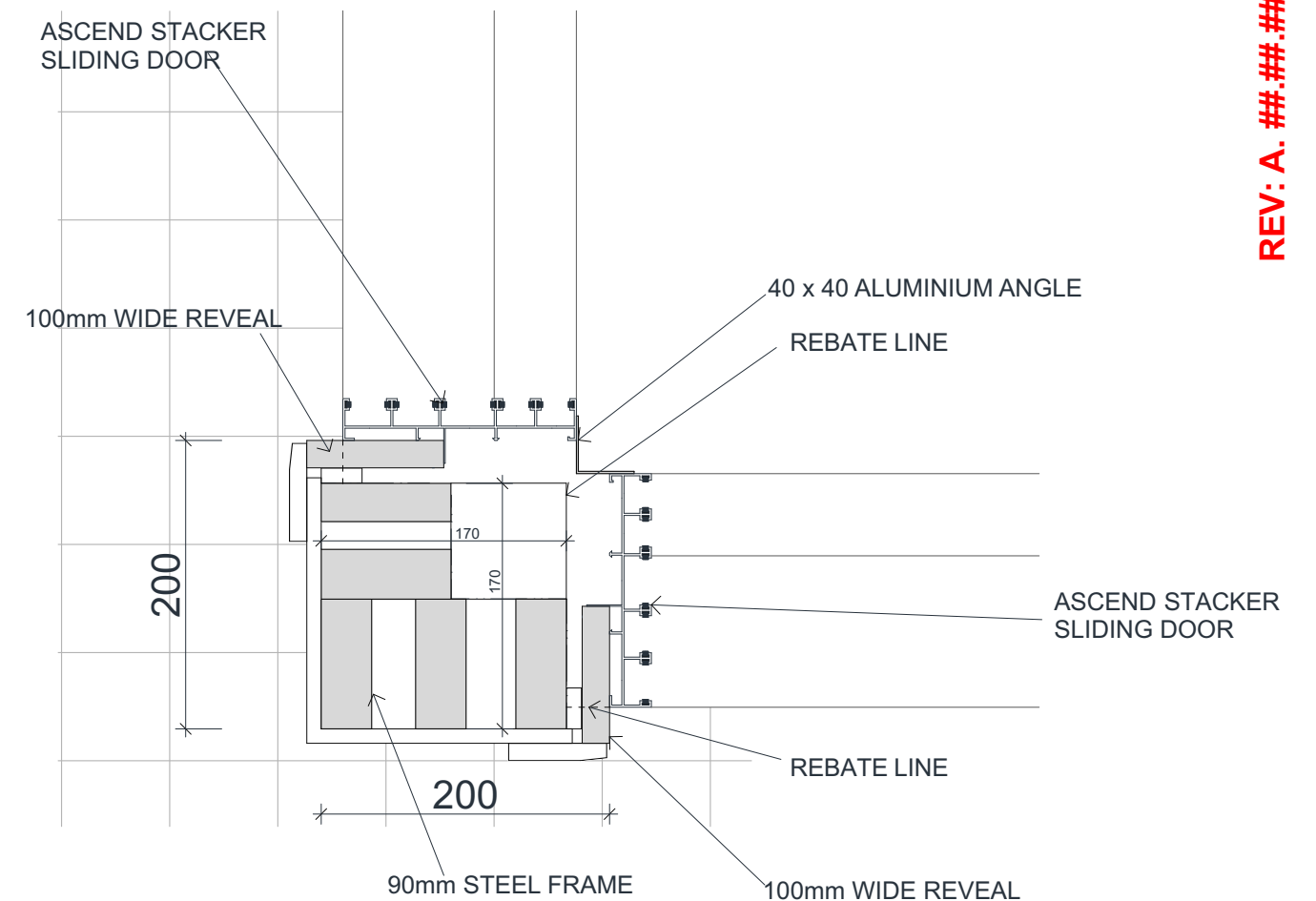
HEAD



JAMB



THRESHOLD



INTERNAL STACKER DOORS JUNCTION

REV: A. ##.##.####

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**BANKSIA PLUS-7 DG**  
*Traditional*

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

SITE INSTRUCTIONS  
GENERAL: F  
HOUSE: 0

**Associated Details 1**

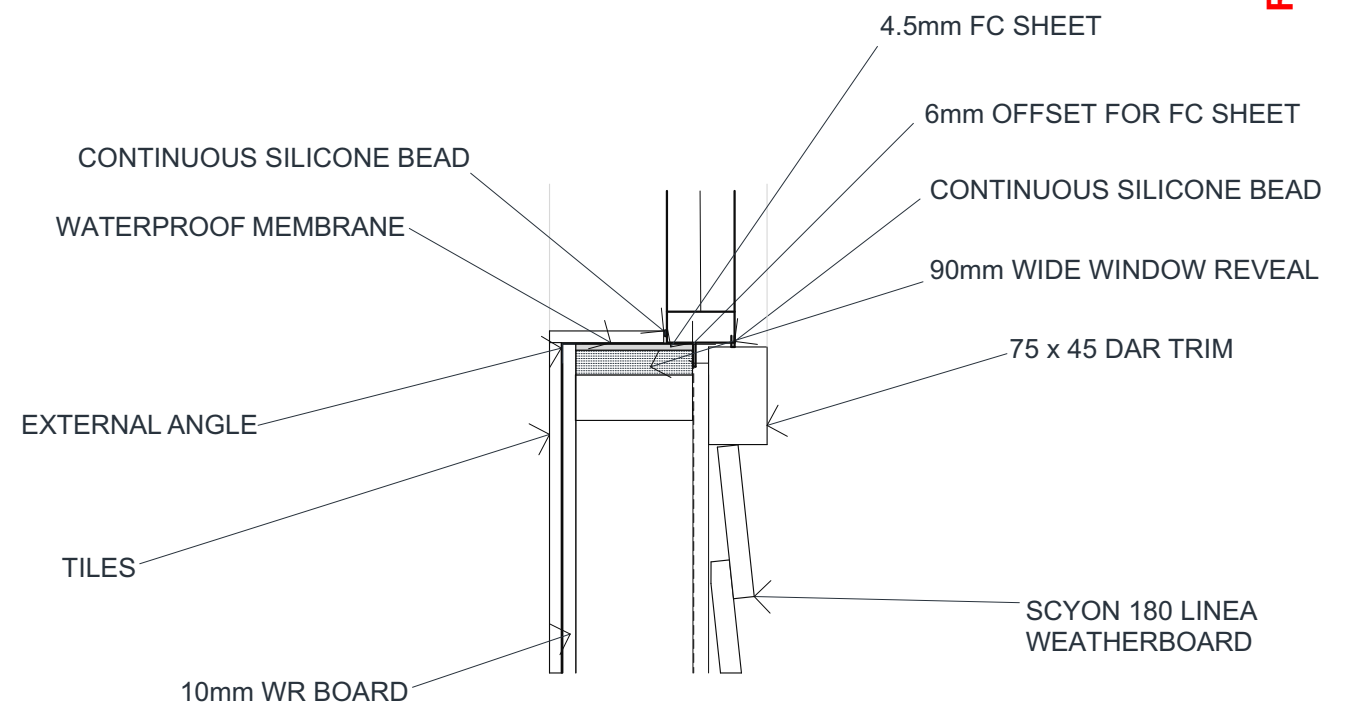
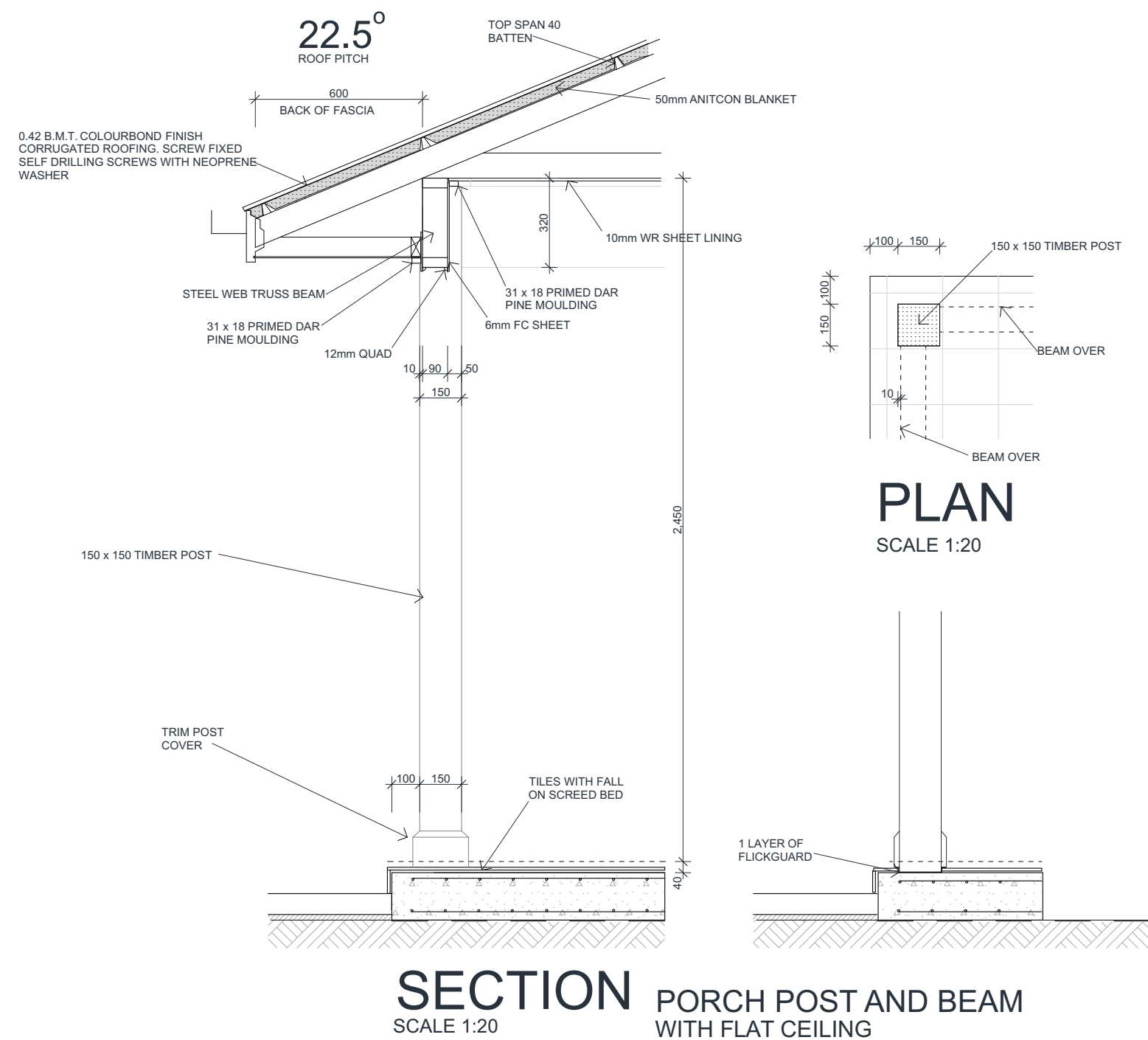
Revision/Date/Version  
A. ##.##.####.V22

Serial  
1BK7108000

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CAE  
Job No  
Job no.

Scale  
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DETAIL  
Sheet  
01.17





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**BANKSIA PLUS-7 DG**  
*Traditional*

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

SITE INSTRUCTIONS  
GENERAL: F 01.09.20  
HOUSE: 0 01.07.20

**Associated Details 2**

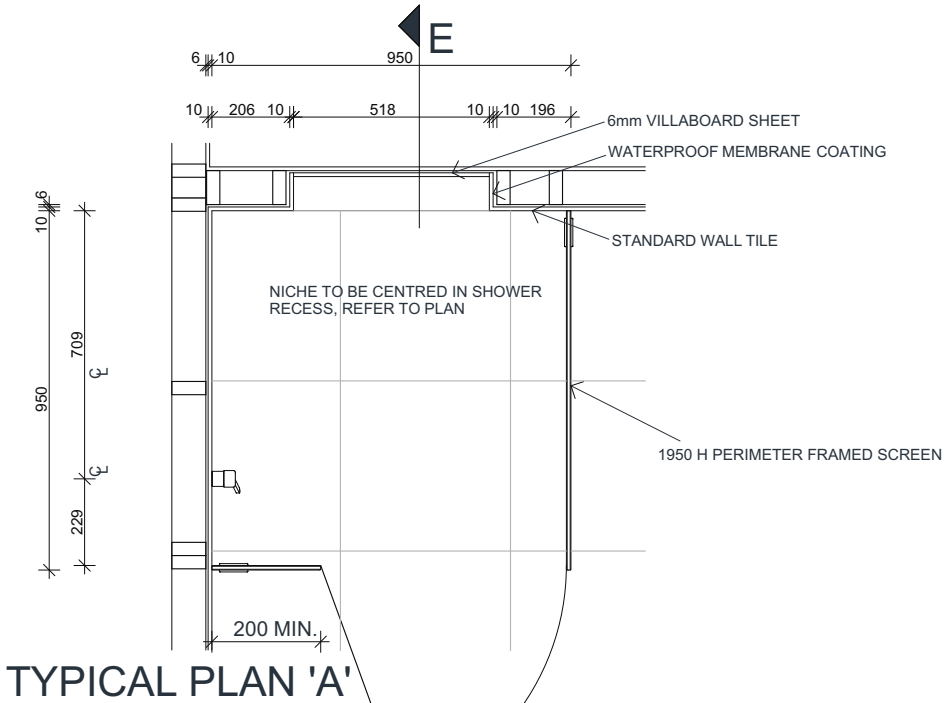
Revision/Date/Version  
A. ##.##.####.V22

Serial  
1BK7108000

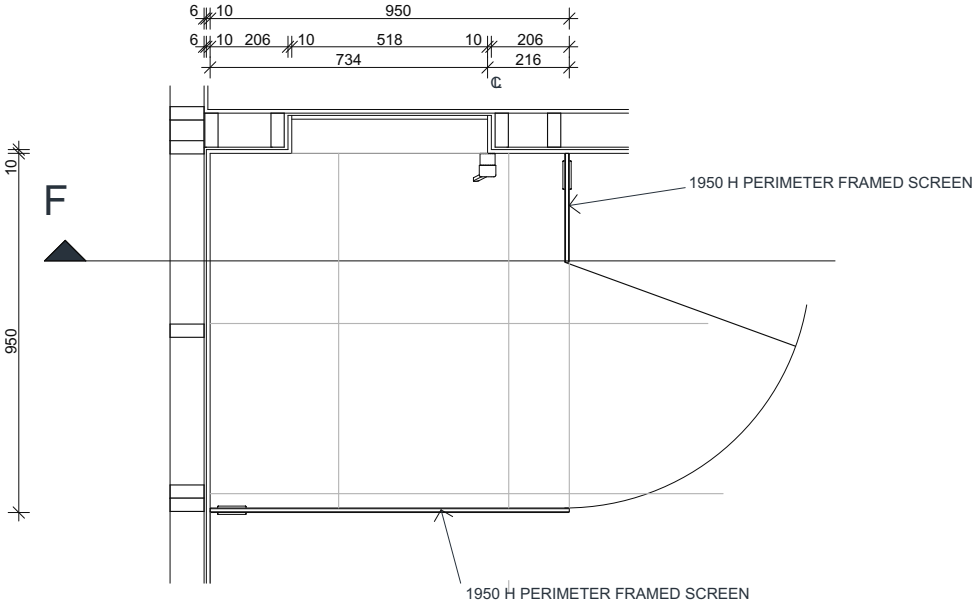
Last Amended  
CAE  
Job No  
**Job no.**

Scale  
REFER TO  
DETAIL  
Sheet  
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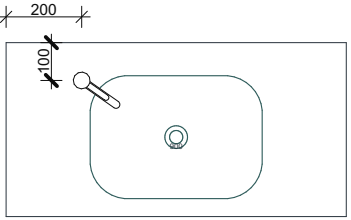




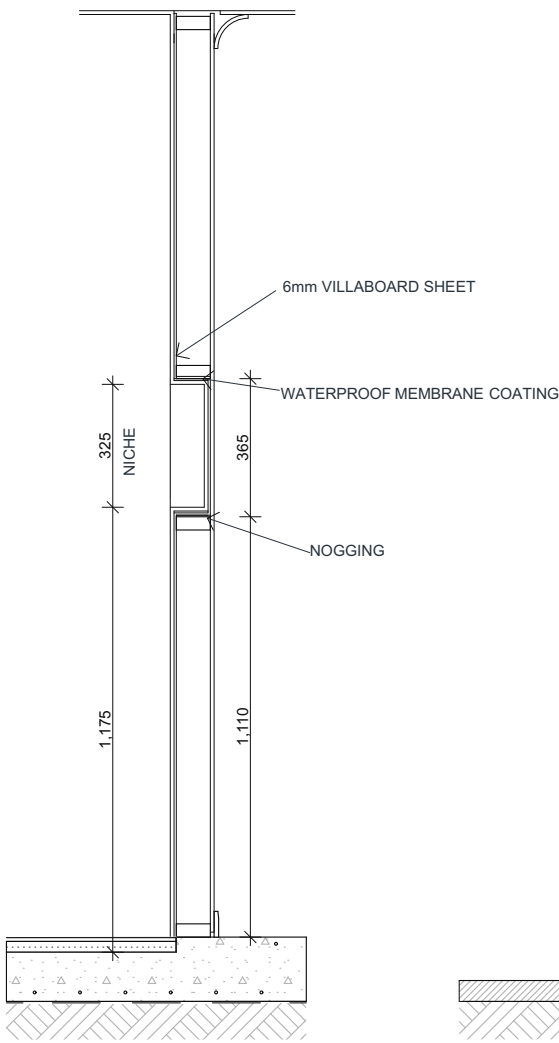
TYPICAL PLAN 'A'



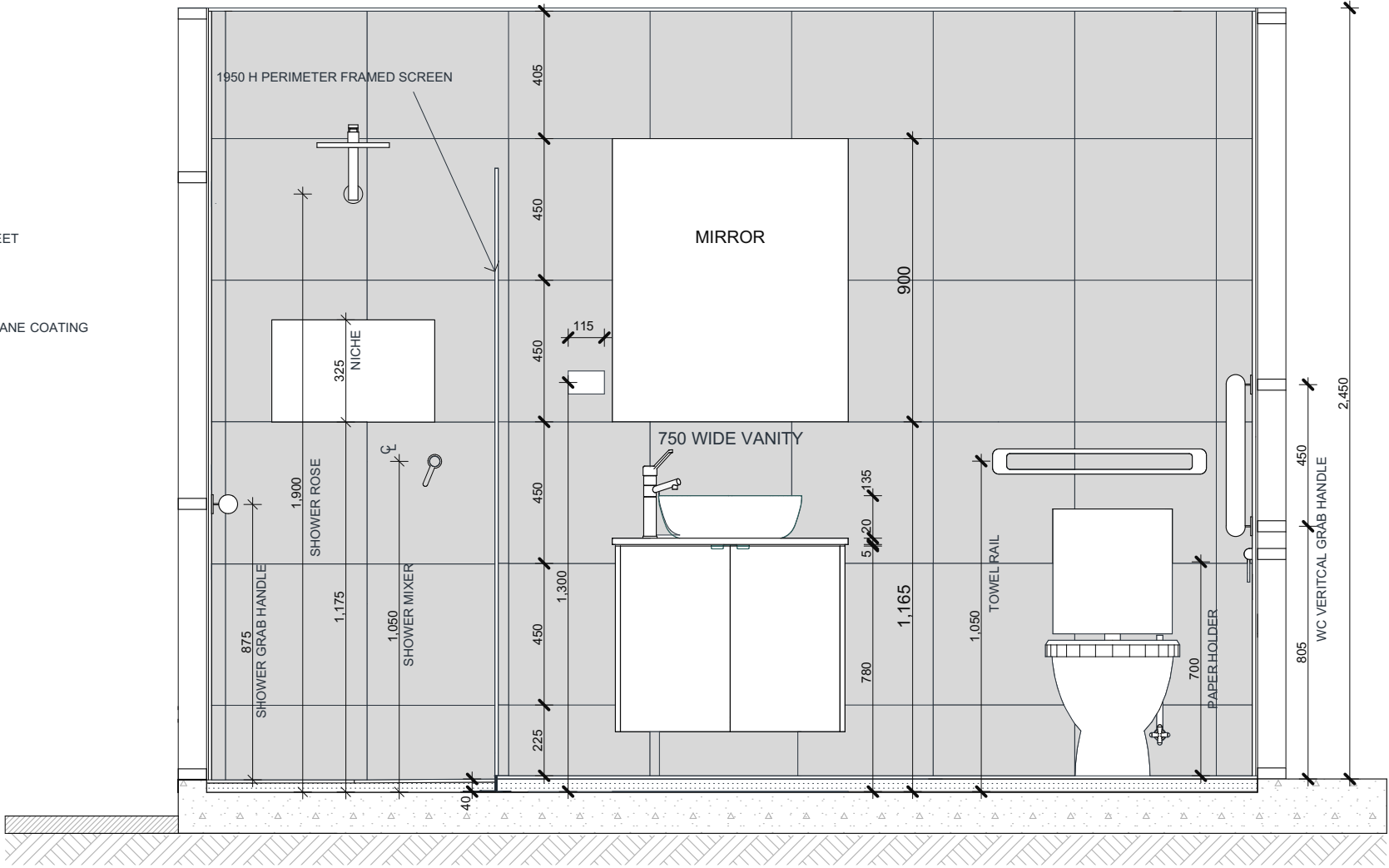
TYPICAL PLAN 'B'



VANITY TOP



SECTION 'E'

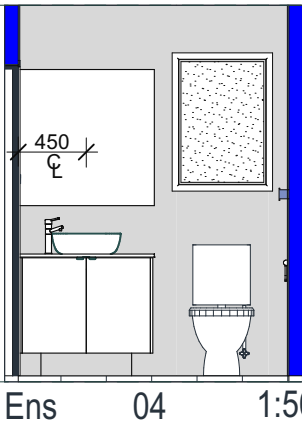
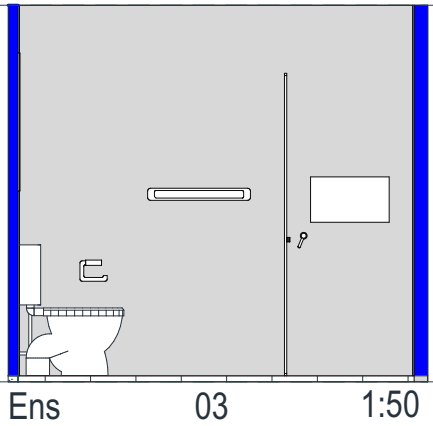
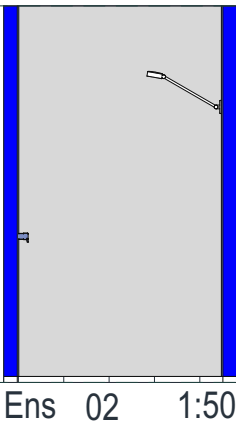
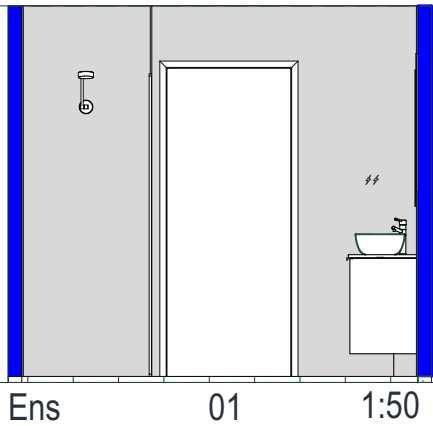
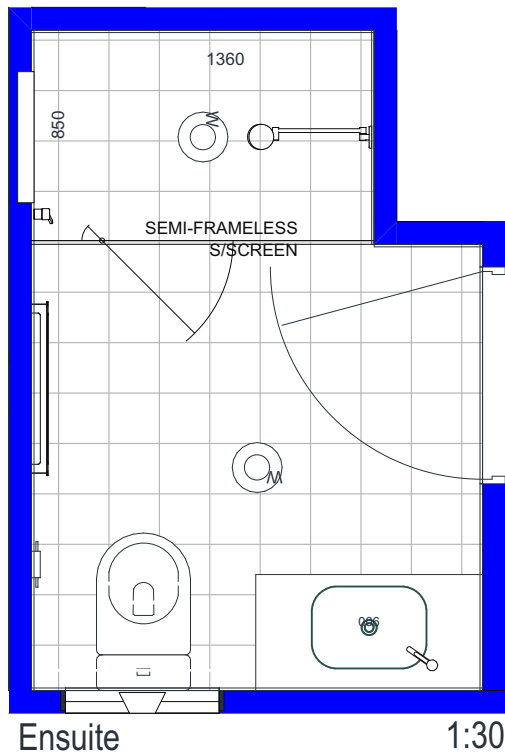


SECTION 'F'

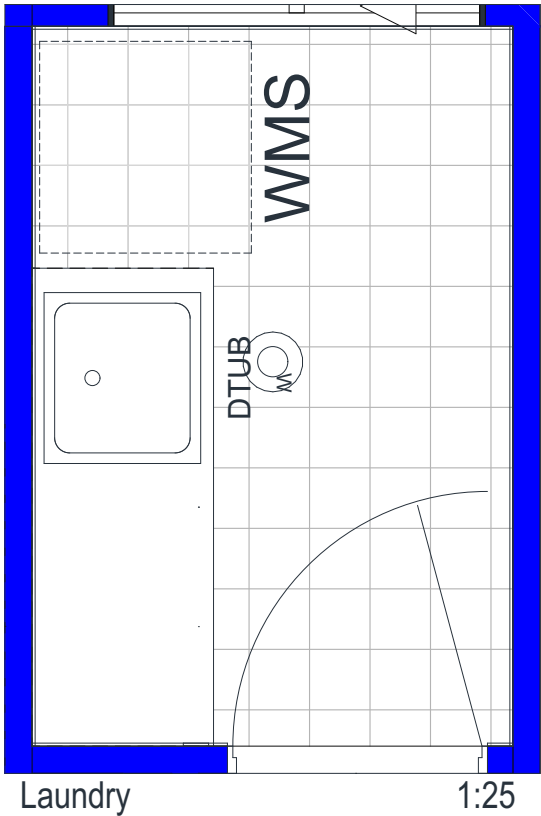
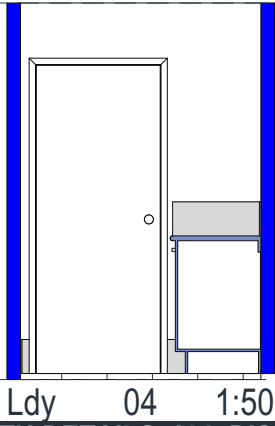
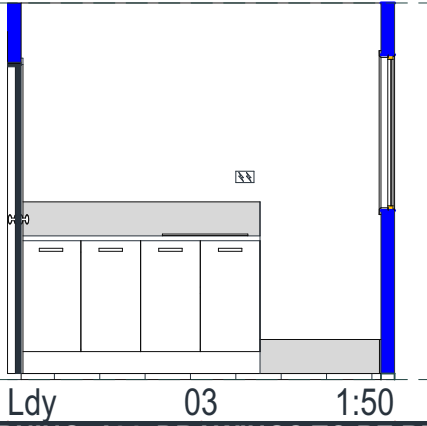
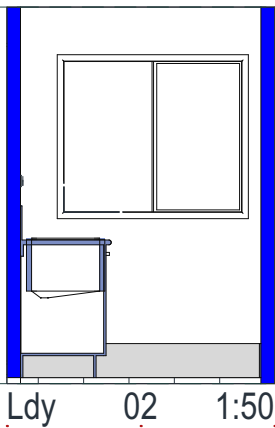
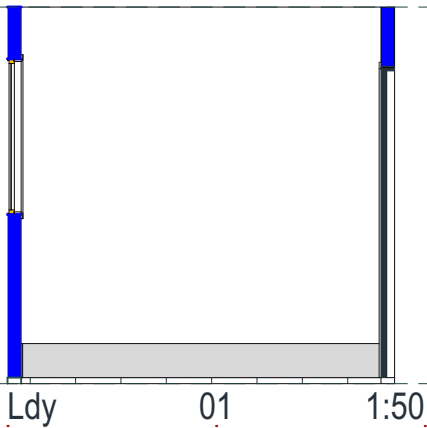
450 x 450 WALL TILE

REV: A. ##.##.####  
MASTER

ENSUITE



LAUNDRY

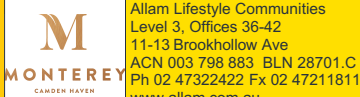


REV: A. ##.##.####  
MASTER

Wet Area Height Table	
Item	Height (mm)
Shower Screen	2100
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

Note:  
Refer To Job Specific Details &  
Colour Application Sheets For  
Tile Layout/Application.

WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960



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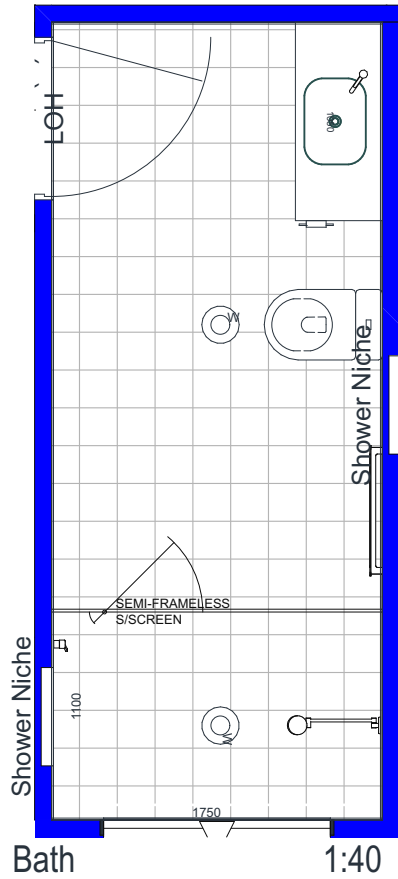
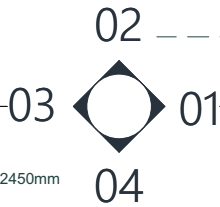
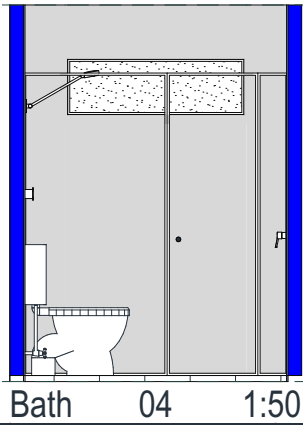
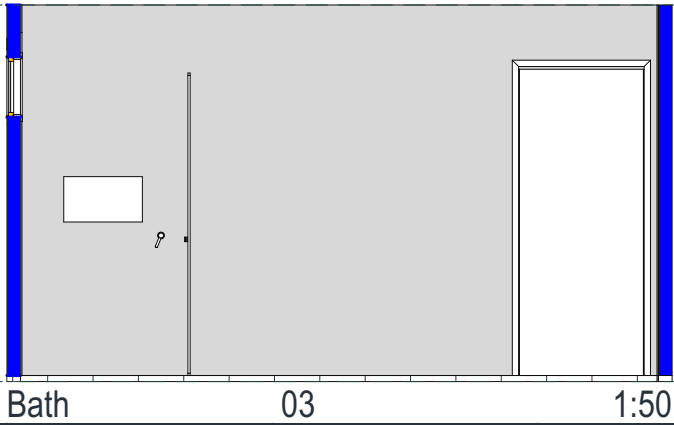
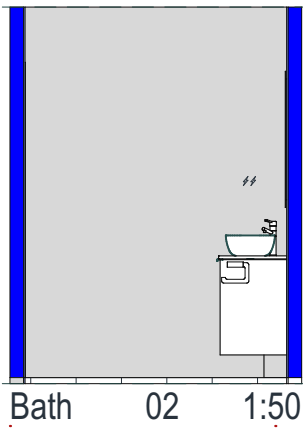
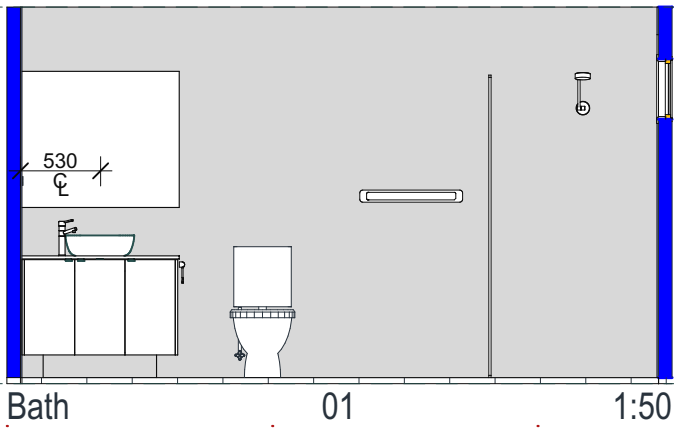
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BANKSIA PLUS-7 DG  
Traditional

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

SITE INSTRUCTIONS				Last Amended	Scale
Ensuite - Laundry				CAE	1:50
GENERAL:	F	01.09.20	Revision/Date/Version	Job No	Sheet
HOUSE:	0	01.07.20	A. ##.##.####.V22	1BK7108000	Job no. 01.20

BATHROOM

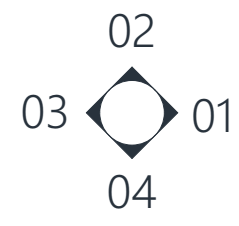
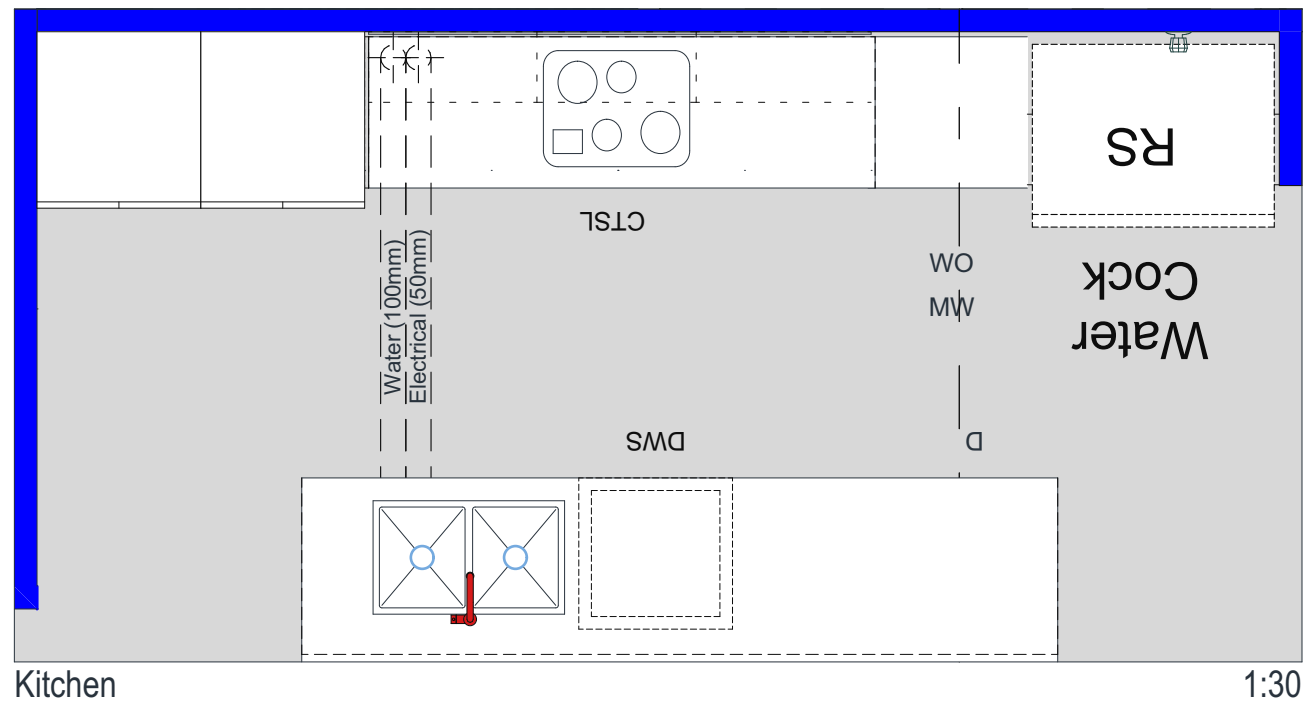
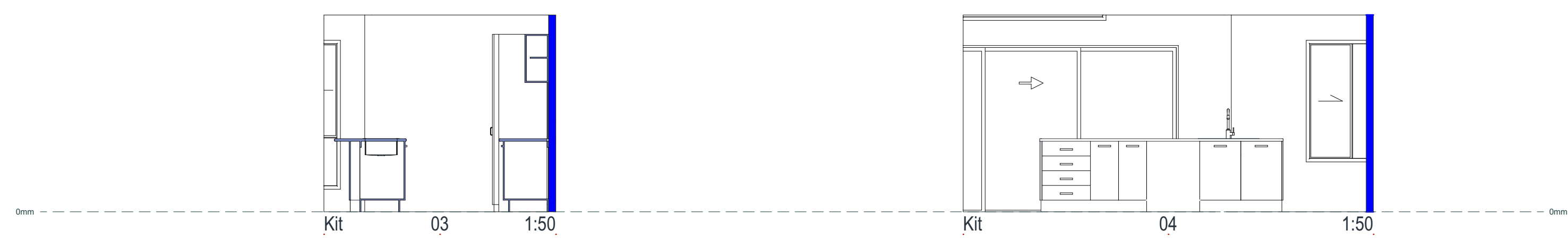
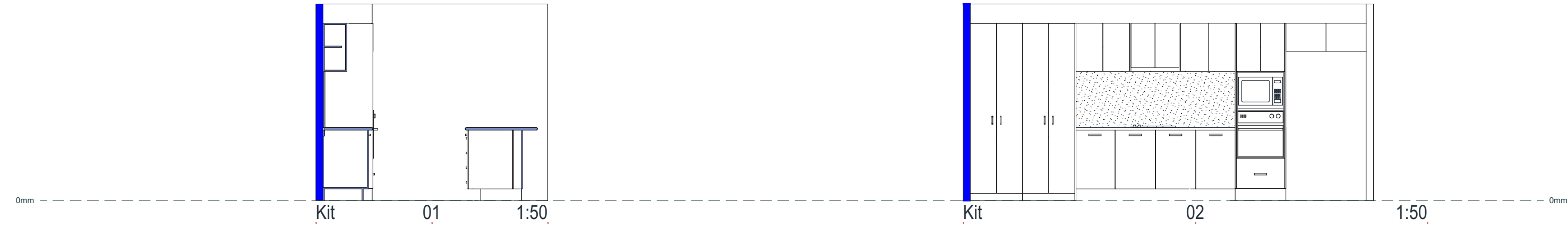


REV: A. ##.##.####  
MASTER

Wet Area Height Table	
Item	Height (mm)
Shower Screen	2100
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

Note:  
Refer To Job Specific Details & Colour Application Sheets For Tile Layout/Application.

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REV: A. ##.##.####  
MASTER

Note:  
Refer to kitchen manufacturers details.



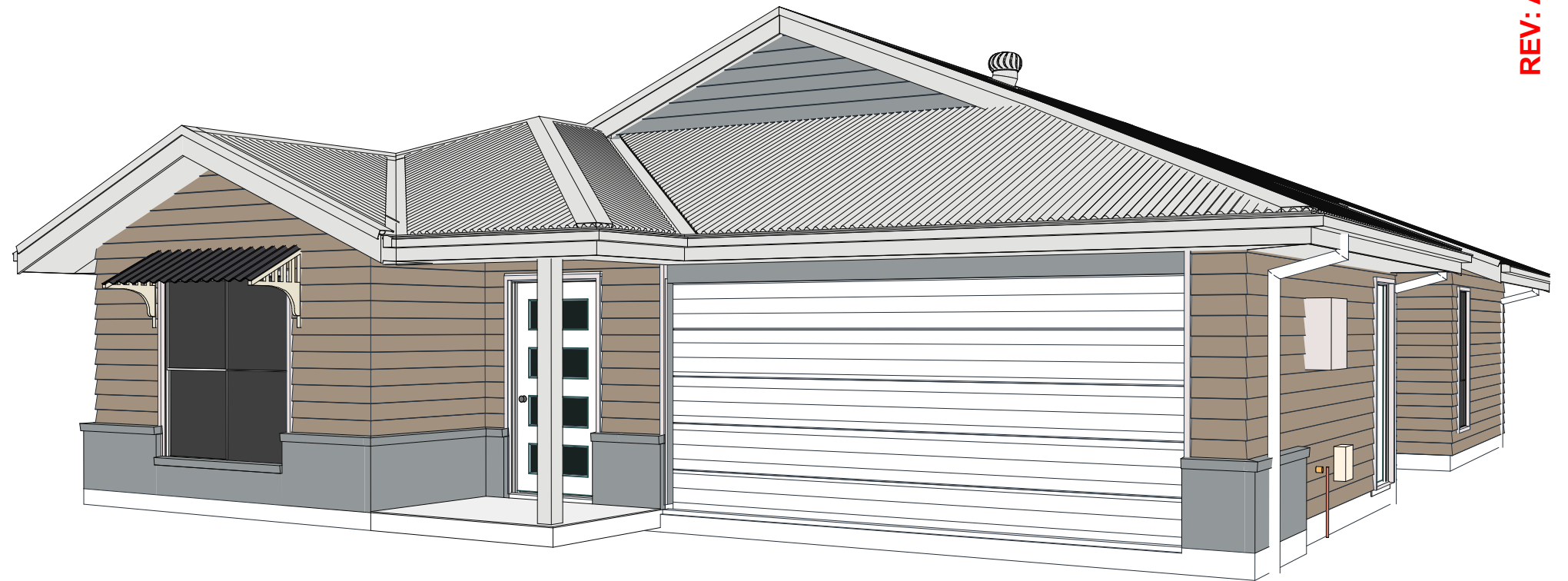
## Finishes Legend

### External Scheme - A##

**Cladding:**

**Hebel:**

### Posts :



REV: A. ##.##.###

# MASTER

## WARNING

**NOTE: THIS PAGE MUST BE PRINTED IN COLOUR**

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**Allam Lifestyle Communities**  
Level 3, Offices 36-42  
11-13 Brookhollow Ave  
ACN 003 798 883 BLN 28701.C  
Ph 02 47322422 Fx 02 47211811  
[www.allam.com.au](http://www.allam.com.au)

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**BANKSIA PLUS-7 DG**  
*Traditional*

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

## SITE INSTRUCTIONS

GENERAL:	F	01.09.20
HOUSE:	0	01.07.20

## Colour Application

Revision/Date/Version
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A. ##.##.####.V22

Serial	
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1BK7108000

Fast Amended CAE	
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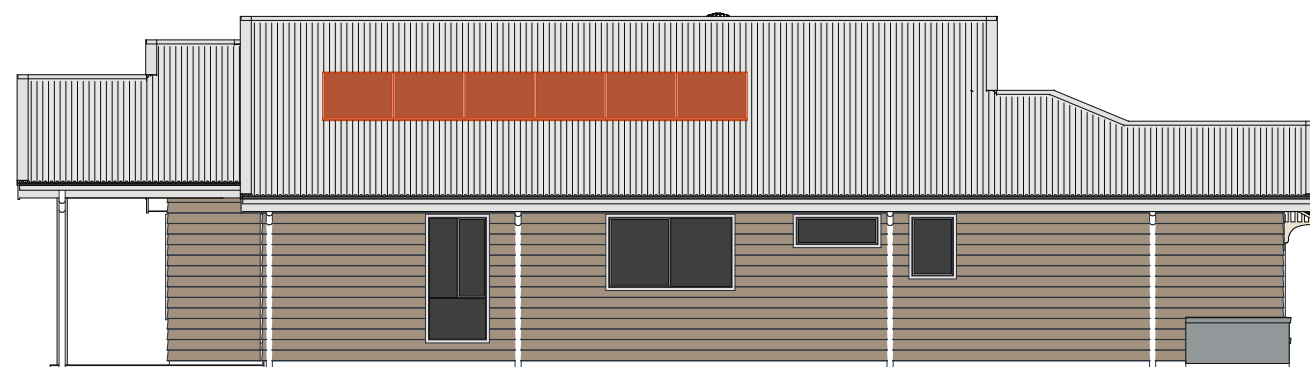
Job No	
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Job no. 0

23

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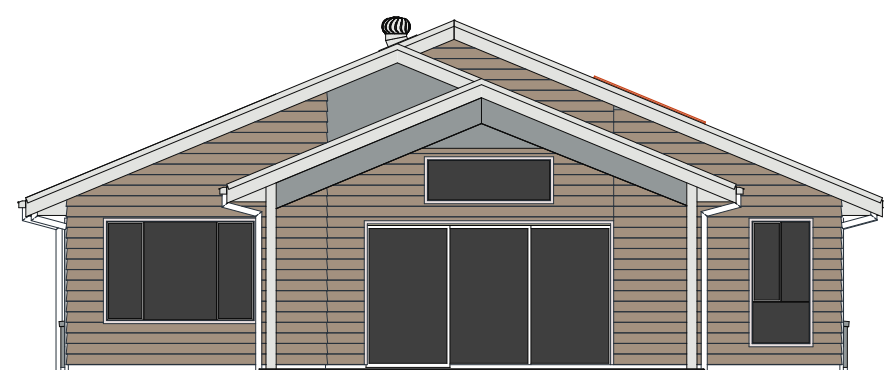
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### Posts :

REV: A. ##.##.####

# MASTER



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**MONTEREY**  
CAMDEN HAVEN

**Allam Lifestyle Communities**  
Level 3, Offices 36-42  
11-13 Brookhollow Ave  
ACN 003 798 883 BLN 28701.C  
Ph 02 47322422 Fx 02 47211811  
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**BANKSIA PLUS-7 DG**  
*Traditional*

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

## SITE INSTRUCTIONS

## Paint Application

GENERAL:	F	01.09.20
HOUSE:	0	01.07.20

Revision/Date/Version

	Revision/Date/Version
A. ##.##.####.V22	

Serial
K7108000

Last Amended

CAE

	Job No
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Job no.

Scale

REFER TO  
DETAIL

Sheet

01.24

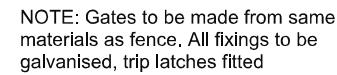
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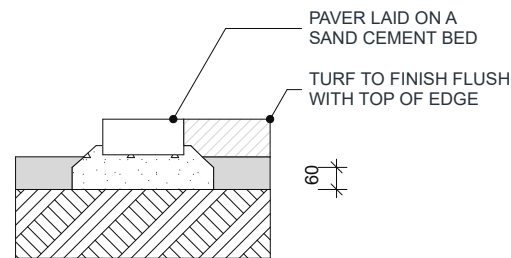
# MASTER







## FENCE - TYPE B



# GARDEN EDGE DETAIL

NTS

## LANDSCAPE SPECIFICATIONS

**TURF AREA:**

- Turf Underlay: 100mm thick layer of screened top soil
- Turf: Kikuyu Turf

**GARDEN AREA:**

- Soil: 300mm thick layer of premium garden mix.
- Mulch: 75mm thick layer of 10mm pine bark mulch.
- Plants per site average:
  - 2 x 25L pot size trees
  - 20 x 300mm pot size plants
  - 20 x 200mm pot size plants
  - 15 x 140mm pot size plants.

Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists;.

15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant.

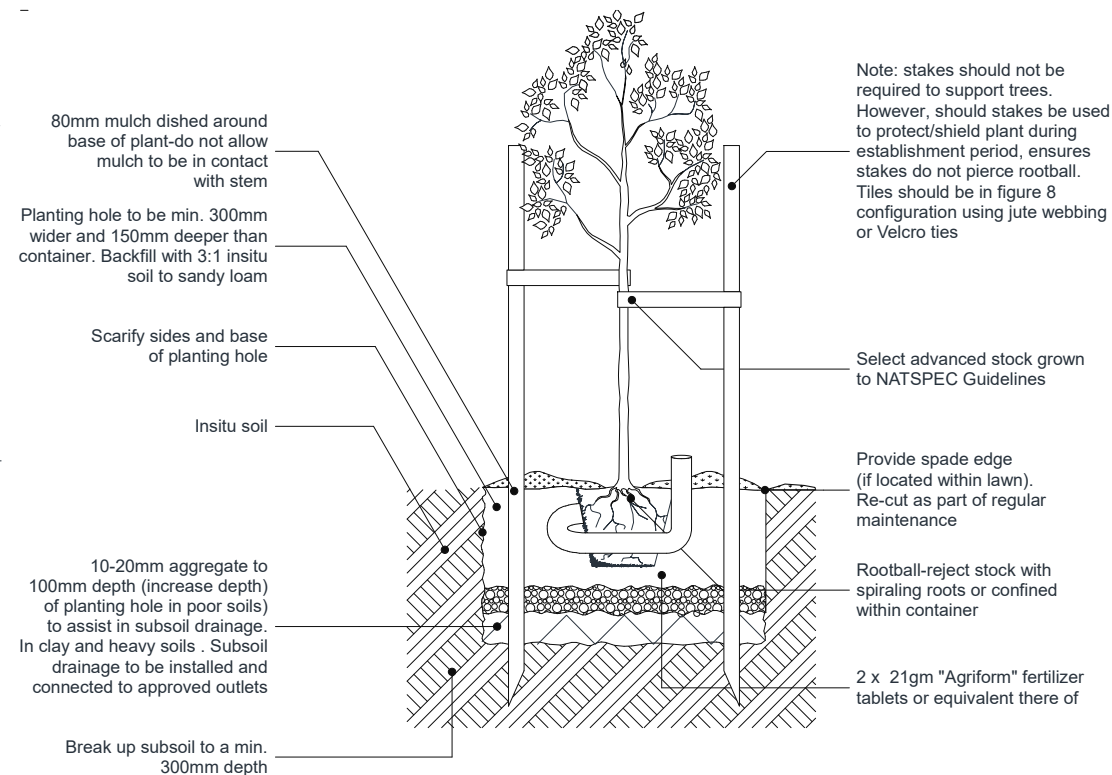
45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant.

Tiles shall be 50mm wide hessian webbing.

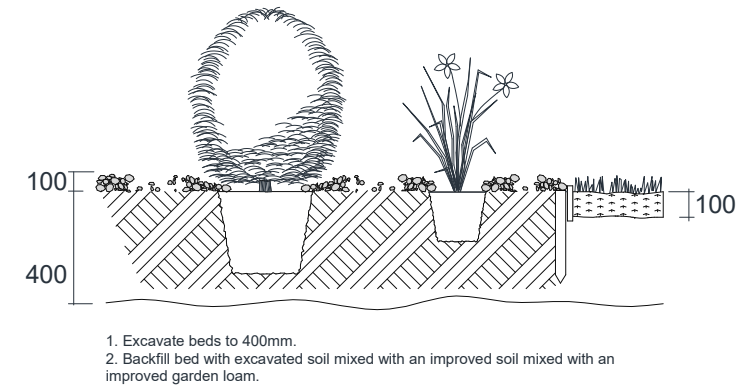
BRICK EDGE:  
- 50mm thick charcoal Havenbrick on sand and cement mix.

PEBBLE AREA:

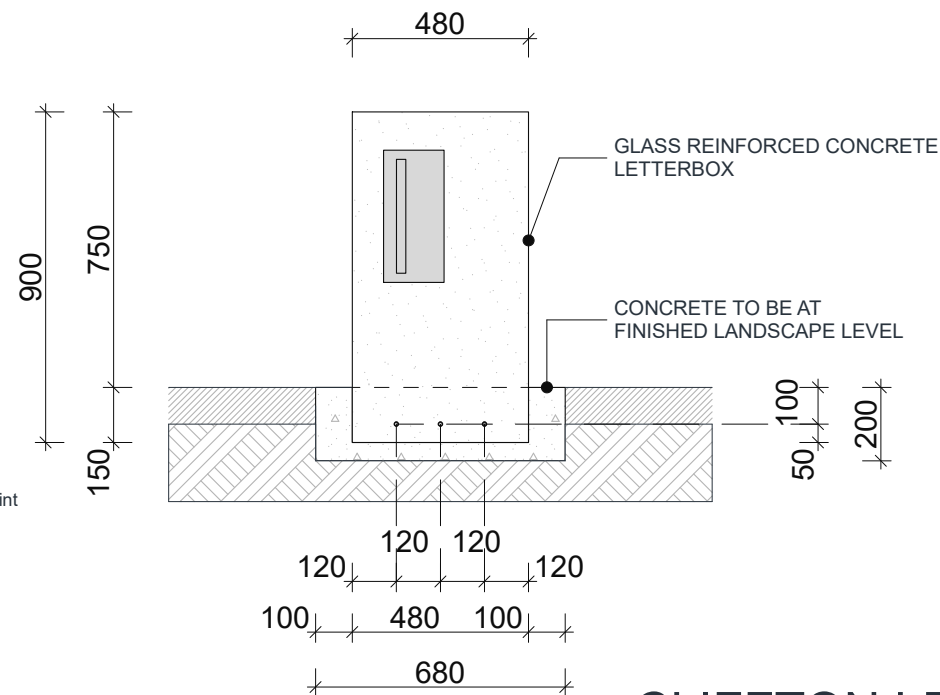
- Pebble underlay : 100mm - 200mm thick layer of consolidated road base.
- Pebble : 75mm thick layer of 20mm decorative pebbles.



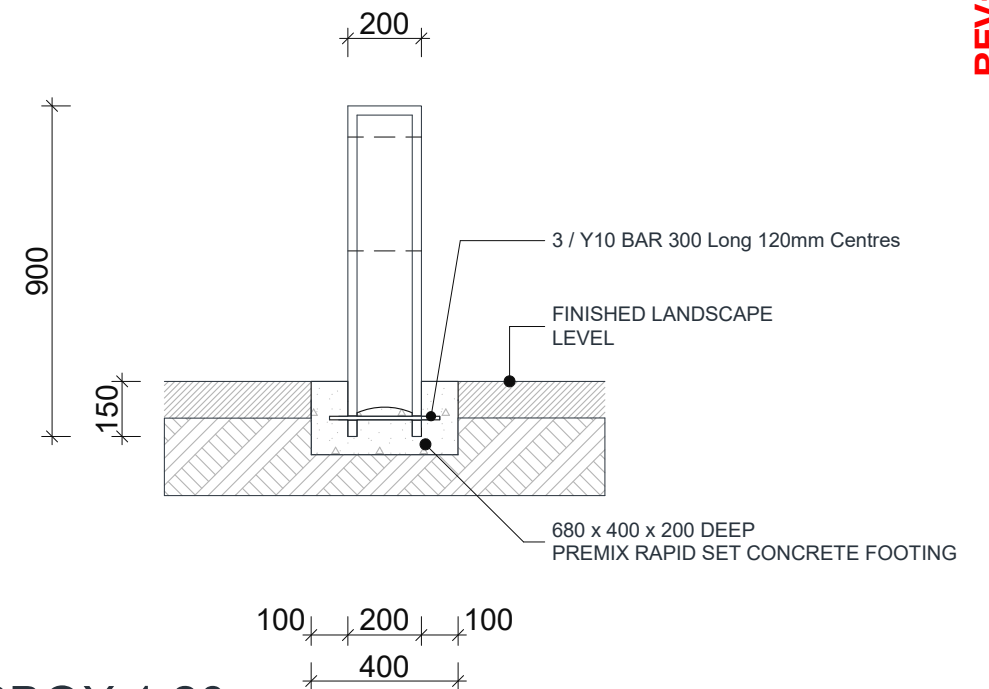
## TREE PLANTING FOR ADVANCED STOCK



## PLANTED BEDS

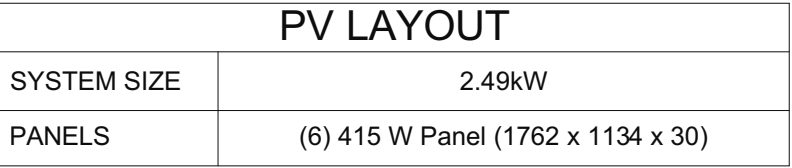


## ELEVATION



## SECTION

## CLIFFTON LETTERBOX 1:20



# MASTER