

# **Lifestyle COMMUNITIES**

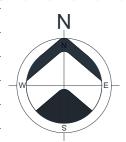
Rev	Date	Modified By	REVISION TO DRAWINGS	
			Pre Approval:	
Α	##.##.####	INITIAL	List variation here and in project info.	
	20.07.2023		Alfresco window over stacker door amended from AF0624 to AF06	18.
	27.07.2023		SQ set to MPR in lieu of CSD's	
			1). 1500 Sq Set to MPR	✓
			2). Garage GPO @1300mm above FFL	<b>√</b>
			Reduction in downlights	<b>√</b>
			A). Induction cooktop	
			5). Back to wall cistern	TCA/CDC ✓
			6). Additional double GPO to MPR	<b>√</b>
			•	<b>√</b>
			7). Adjusted door location to Bed 1	
			8). Alfresco fan height lowered	JOE For options ✓
			9). Additional Double GPO to Bed 2	<b>√</b>
			10). Semi frameless shower screen (remove trip hazard)	<b>∨</b>
			11). Reduced width Sq Set to Entry	<b>√</b>
1				

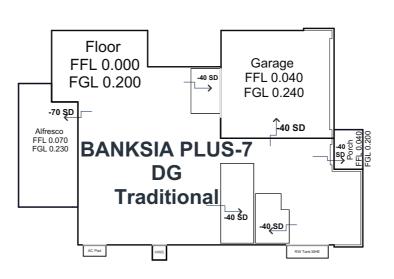
	СС	W/O
WAE	N/A	N/A
SEWER Draft Civil Plans	N/A	N/A
WATER	N/A	N/A
ELECTRICAL	N/A	N/A
NBN	N/A	N/A
CIVIL ENGINEERS	N/A	N/A
GAS	N/A	N/A
LINEN	N/A	N/A
88B	N/A	N/A
BAL	N/A	N/A
ACCOUSTICS	N/A	N/A
	ES DOCUMENTATION TIME OF PRODUCTION	

<b>Layout No:</b>	<b>Layout Name</b>	Rev
01.1	Cover Sheet	
01.2	Site	
01.3	Ground Floor	
01.4	Elevation A/B	
01.5	Elevation C/D	
01.6	Section X/Y	
01.7	Site Analysis	
01.8	Fencing & Retaining Layout	
01.9	Retaining Wall Details	
01.10	Waste & Drainage	
01.11	Slab Setout Ground	
01.12	Slab Details	
01.13	Sub Floor Ground	
01.14	Slab Relocation Plan	
01.15	Ground Floor Electrical	
01.16	Wall Section 1	
01.17	Associated Details 1	
01.18	Associated Details 2	
01.19	Tile Specification	
01.20	Ensuite - Laundry	
01.21	Bath	
01.22	Kitchen	
01.23	Colour Application	
01.24	Paint Application	
01.25	Colour Perspectives	
01.26	Landscape	
01.27	Landscape Details	
01.28	Solar Panel Layout	
01.29	Furniture Layout	
01.30	WHS Plan	

WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960

Allam Lifestyle Communities
Level 3, Offices 36-42
1-13 Brookhollow 4ve
1-13 Brookhollow 4ve
1-14 Brookhollow 4ve
1-15 General 1-15 Cover Sheet
1





DRAWING REVISIONS

A. ##.##.## INI - List variations.

### NOTE: Also Refer To Index Sheet For Additional Plans.

- Waste & Drainage.
- Fencing & Retaining.
- Slab Setout.Site Analysis.Landscape.

- GENERAL NOTES:

   Landscaping To The Front & Rear Yards As Indicated On The Landscape Plan.

   Retaining Wall Where Required By Builder.
- Provide An Edgeboard Survey To Confirm The Position Of The Home & Finished Floor Levels.
   Provide 1800mm High Chain Wire Temporary Safety Fencing In Accordance With Work Cover Requirements Under The Occupational Health & Safety Act To All Unfenced Boundaries Including

G: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 SITE INSTRUCTIONS **Site BANKSIA PLUS-7 DG** 1:200 CAE Allam Homes Pty Ltd Lot ### Street name **Traditional** HOUSE: 0 01.07.20 A. ##.##.###.V22 1BK7108000 **Job no.** Suburb (Estate) NSW



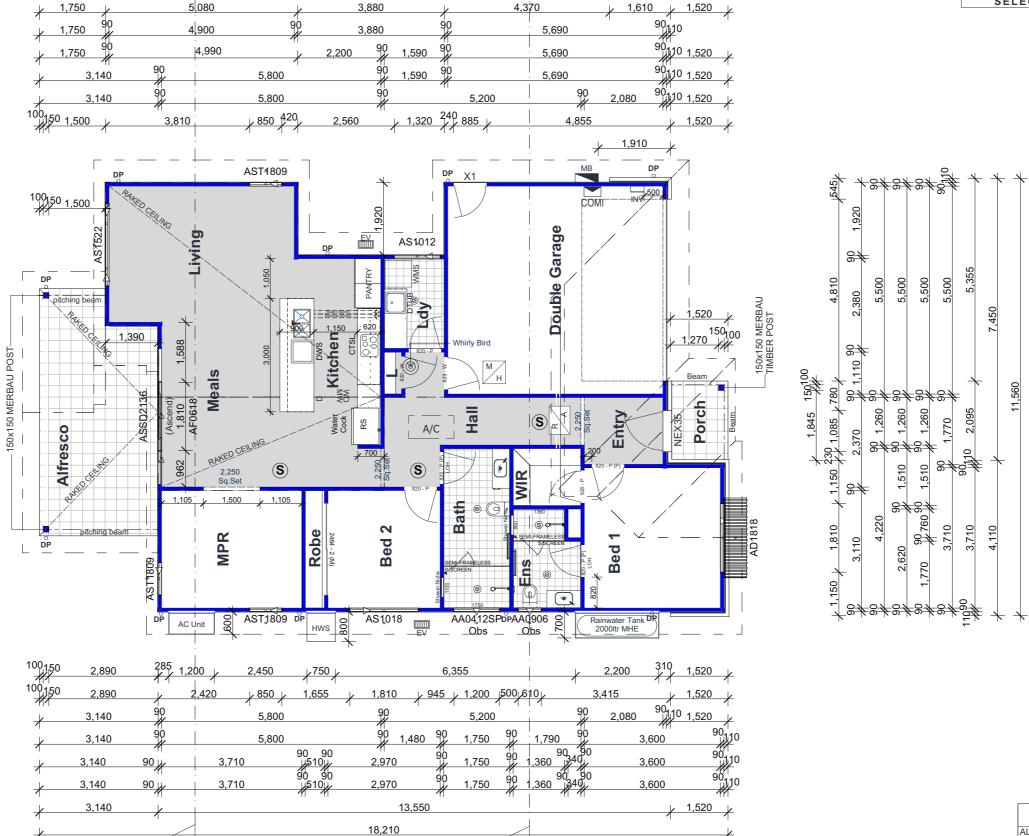
FLOOR AREAS

34.34

123.55 3.18 180.23 m<sup>2</sup>

GARAGE

MASTER



18,210

LIFESTYIE COMMUNITIES

**General Notes:** 

**Specification Notes:** 

Air Con Fan Unit

Whirly Bird (300mm Throat Dia)

Eave Vent (400x200mm)

Man Hole

\* Internal Door Legend

E = Entrance P = Passage

(P) = Privacy W = Wardrobe

LOH = Lift Off Hinge

hung doors

A/C

MONTEREY Ph

Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701 Ph 02 47322422 Fx 02 472111 www.allam.com.au

1,920

90

90 1,110

8 8 8

3,110

850

8 4 8

**18** ★

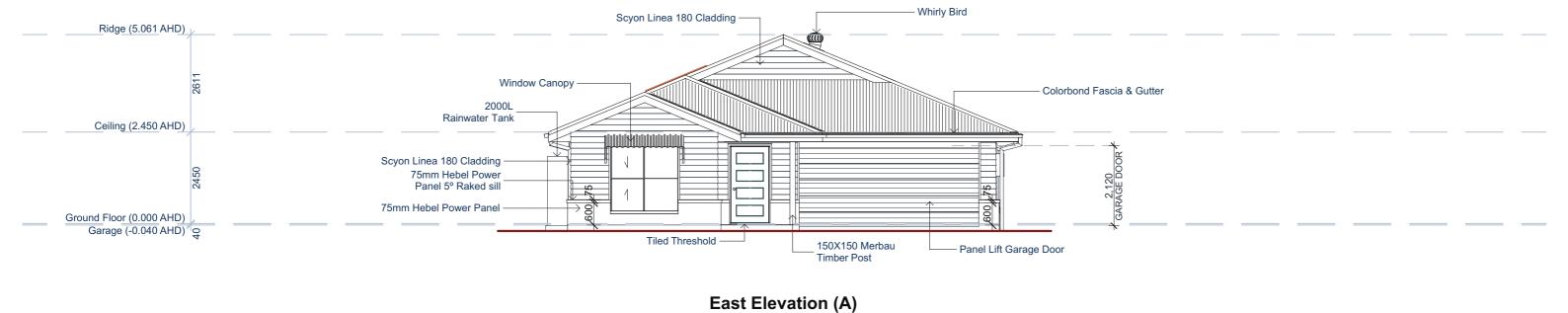
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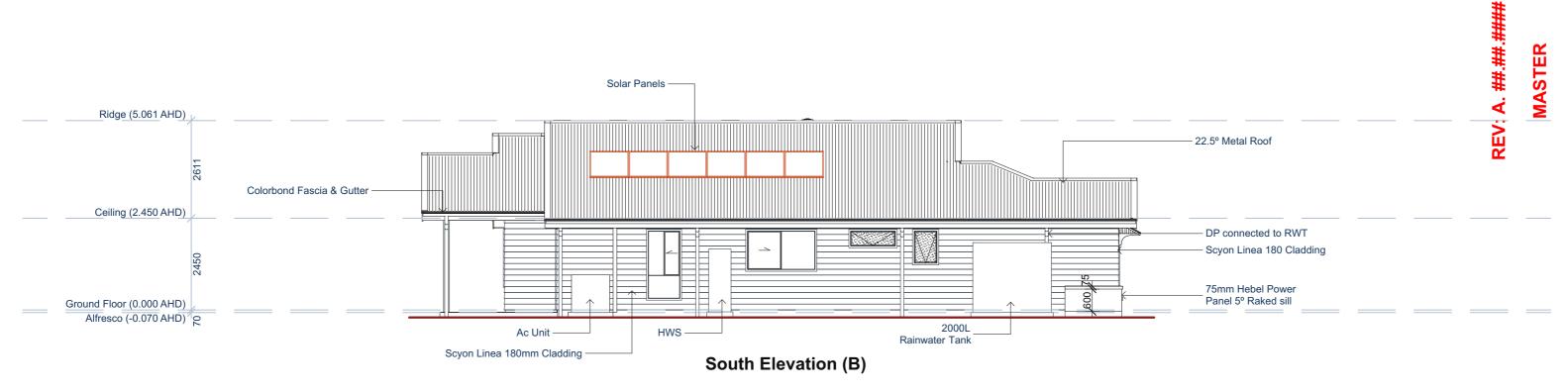
BANKSIA PLUS-7 DG

Traditional

Allam Homes Pty Ltd
Lot ### Street name
Suburb (Estate) NSW

 $\times$ 





### **General Notes:**

\* Locate expansion joints in accordance with. Clause 3.3.5.13 of NCC and located behind

- Clause 3.3.3.13 of NCC and located benind downpipes where possible.

  \* All verges 200mm unless otherwise noted

  \* Provide cover strip to entry doors

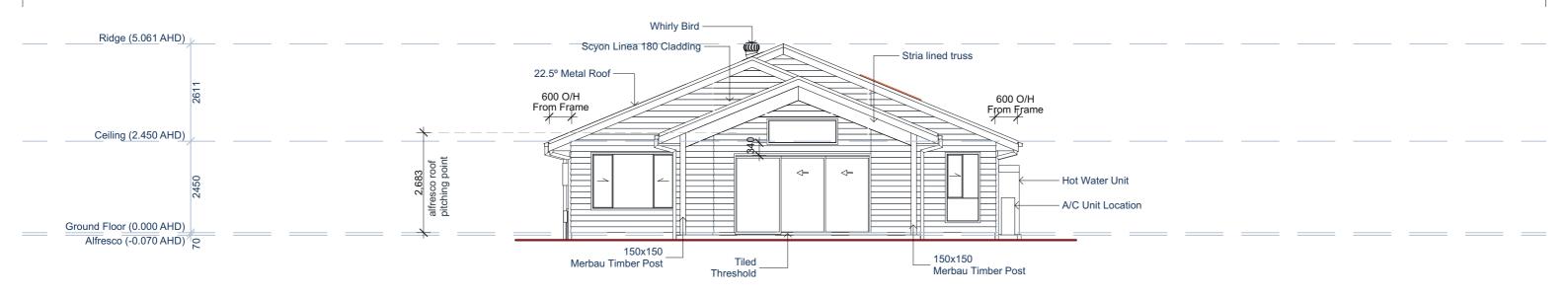
  \* Provide cover strip to entry doors

  \* Refer to floor plans/window schedule for Restricted opening windows (BCA)
- Indicates Obscure Glazing (Refer floor plans/window schedule)

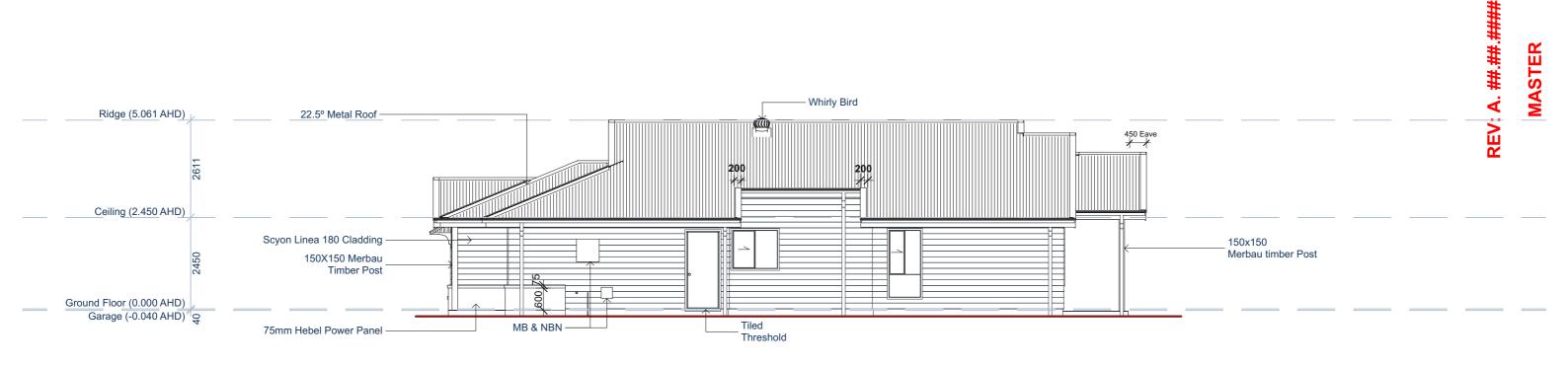
### Glazing

Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installationand, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO (	OCHOTICOTION (	ALLAW DES	IGN DEPARTMENT	) UN (UZ) 4/UZ 5	บอยบ	
Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BI N 28701 C. Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BI N 28701 C. Allam Homes pty Ltd. Under the provisions of Allam Homes pty Ltd. Under the Provision	SITE INSTRUCTION	s Elevation	on A/B		CAE	1:100
MONTER EVEN OF THE CONTRACT OF	GENERAL	F 01.09.20	Revision/Date/Version	Serial	Job No	Sheet
Lifestyle COMMUNITIES	HOUSE:	0 01.07.20	A. ##.##.##.V22	1BK7108000	Job no.	01.4



West Elevation (C)



### North Elevation (D)

### **General Notes:**

\* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind

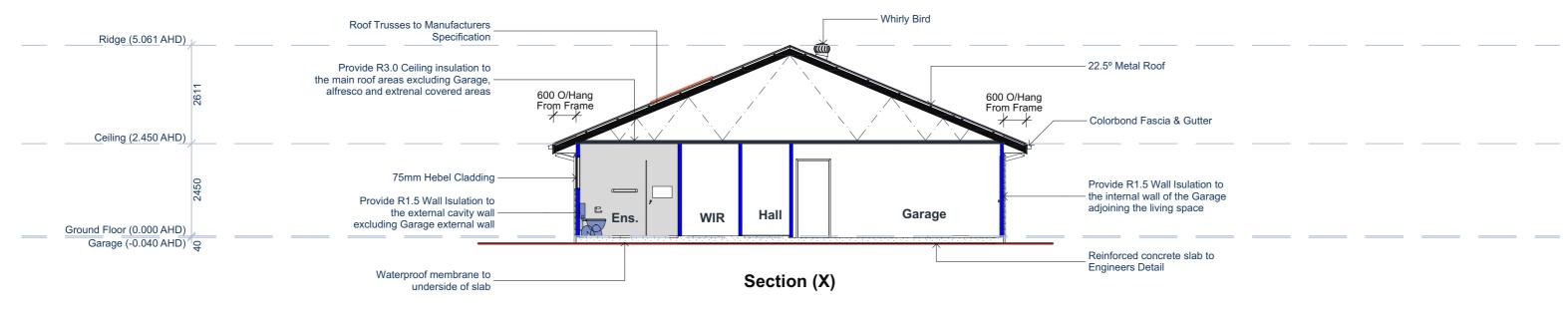
- downpipes where possible.

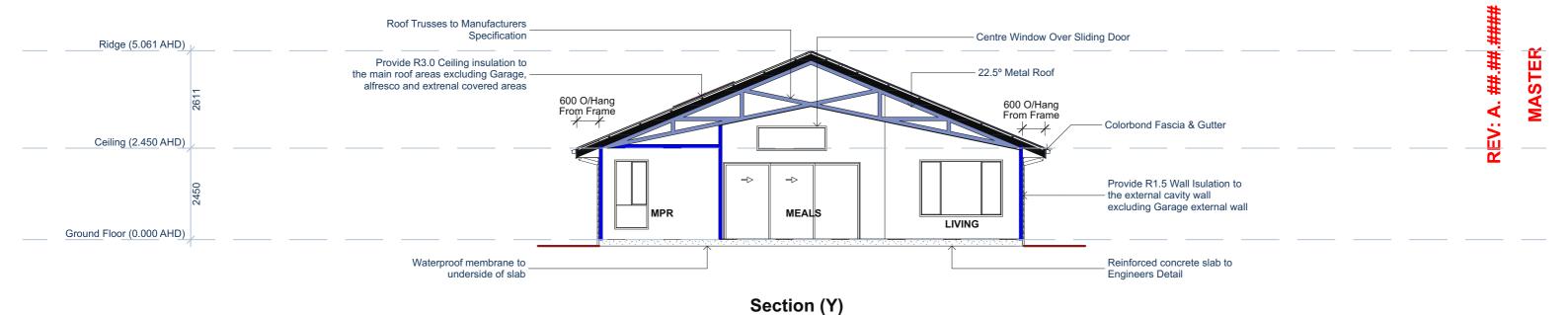
  \* All verges 200mm unless otherwise noted
- \* Provide cover strip to entry doors
  \* Provide cover strip to entry doors
  \* Provide cover strip to entry doors
  \* Refer to floor plans/window schedule for Restricted opening windows (BCA)
- Indicates Obscure Glazing (Refer floor plans/window schedule)

### Glazing

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WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 SITE INSTRUCTIONS Elevation C/D **BANKSIA PLUS-7 DG** 1:100 CAE Allam Homes Pty Ltd ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 Lot ### Street name GENERAL: F 01.09.20 **Traditional** MONTERE **Lifestyle COMMUNITIES** HOUSE: 0 01.07.20 A. ##.#####.V22 1BK7108000 **Job no.** Suburb (Estate) NSW © 2021 Allam Homes Pty Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS





### **CONDENSATION MANAGEMENT:**

- Exhaust Fans will be Compliant with NCC Clause 3.8.7.3.b (i). Australian Standard AS4200.1

-Wall wrap to be in accordance with Clause 3.8.7.2 of NCC

2019 & AS4200.1 & Installed in Compliance with AS4200.2

ROOF RAINWATER:

- Provide overflow measures for gutters and downpipes: Compliant with NCC Clause 3.5.3 STAIRS, RAMP & LANDINGS:

Internal & External: Bounded by walls:
Compliant with NCC Clause 3.9.1
Internal & External: Finish of nosings/slip resistance:
Compliant with NCC Clause 3.9.1.4

BALLUSTRADES:

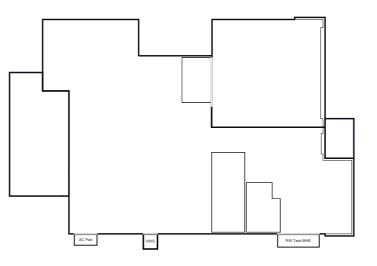
- Internal/External: All installations: Compliant with NCC 3.9.2; Clause 3.9.2.3 & 3.9.2.4 as applicable for handrails

ELECTRICAL:

Smoke Alarms: Installation to NCC Clause 3.7.5

		LIGHTING	& VENTILATION T	ABLE	
Zone Name	Floor Area Total	Natural Lighting Area Requied (Min. 10%)	Proposed Natural Lighting Area	Natural Ventilation Area Requied (Min. 5%)	Proposed Natural Ventilation Area
Bed 1	13.356	1.356	3.073	0.682	0.728
Bed 2	9.237	0.923	1.777	0.461	0.899
Meal/Kitchen	28.95	2.868	6.981	1.434	4.625
Living	17.640	1.764	4.396	0.882	2.03
MPR	11.54	1.154	2.955	0.577	0.959

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Allam Lifestyle Commun	ies ALL PIGHT PESERVED		Site Address	SITE		4.5	3.60.6		Last Amended	Scale
Level 3, Offices 36-42 11-13 Brookhollow Ave	This plan is the property of Allam Homes pty	BANKSIA PLUS-7 DG	Allam Homes Pty Ltd	INSTRUCTIONS	Se	ction	X/Y		CAE	1:100
ACN 003 798 883 BLN	8701.C Allam Homes pty ltd. Under the provisions of	Traditional	Lot ### Street name	GENERAL:	F (	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
Lifestyle COMMUNITIES MONTER ET Ph 02 47322422 Fx 02 4 www.allam.com.au	'211811 the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd.	l raditional	Suburb (Estate) NSW	HOUSE:	0 (	01.07.20	A. ##.##.###.V22	1BK7108000	Job no.	01.6





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| Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 82701. C Ph 02 47322422 Fx 02 47211811 WW. Allam Homes pty ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd.
| Allam Homes pty Ltd Lot ### Street name Suburb (Estate) NSW | Sheet House only as authorised by Allam Homes pty ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd. Vide the provision of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd. Vide the provision of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd. Vide the provision of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd. Vide the provision of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd. Vide the provision of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd. Vide the provision of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd. Vide the provision of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd. Vide the provision of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd. Vide the provision of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd. Vide the provision of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd. Vide the provision of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd. Vide the provision of the Copyright ACT 1968 and is intended for use only as a transfer of the Copyright ACT 1968 and is intended

NOTE. HOUSING RETAINING WALL SUBSOIL DRAINAGE TO CONNECT TO EXISTING CIVIL

RETAINING WALL SUBSOIL DRAINAGE LINE.

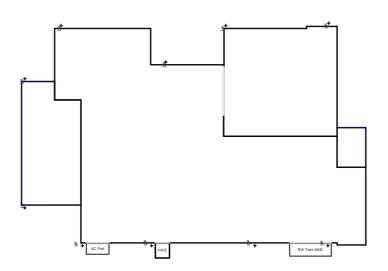
SUBSOIL DRAINAGE LINE IS TO EXIT SITE VIA A SILT PIT TO DEDICATED DISCHARGE

POINT COMPLYING WITH APPROPRIATE AUTHORITY.

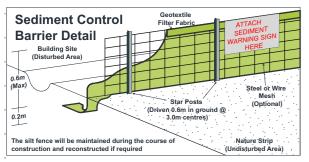
DO NOT CONNECT ROOF & SURFACE WATER DRAINAGE LINES TO RETAINING WALL

SUBSOIL DRAINAGE LINE.

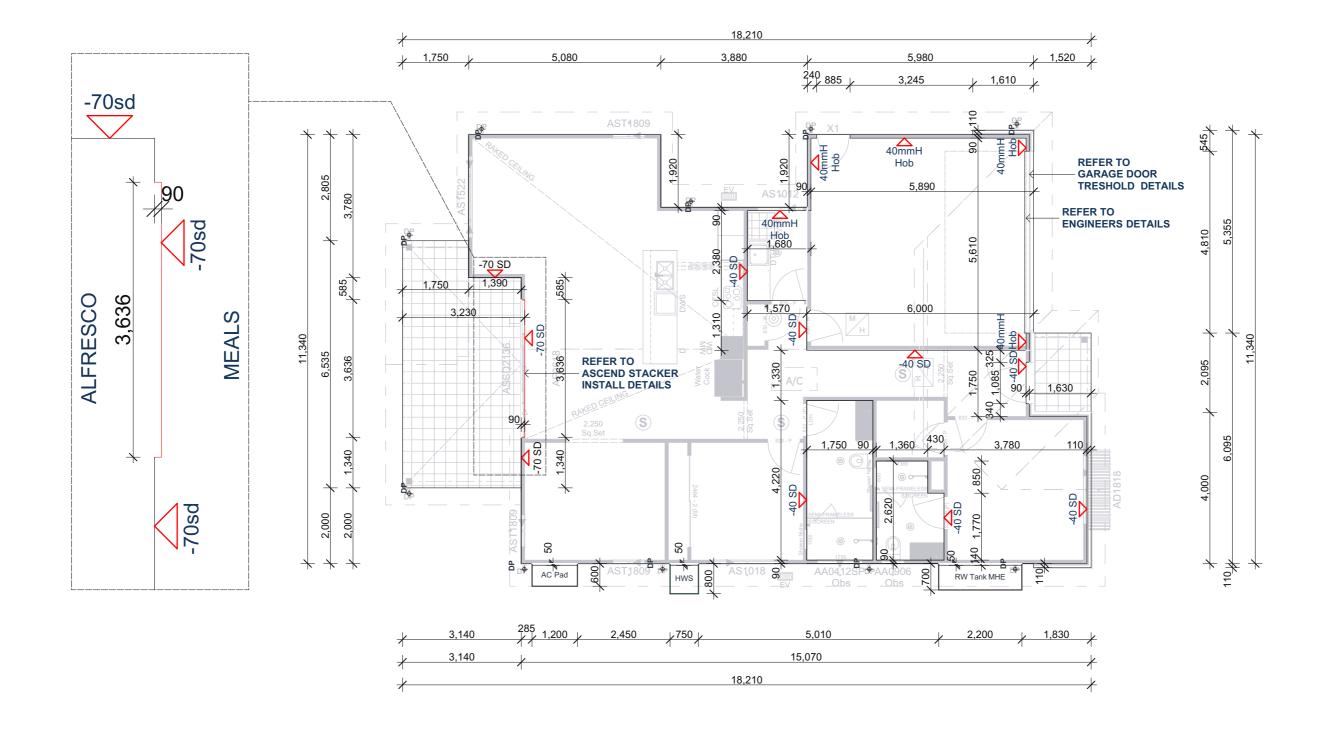
STORMWATER & SUBSOIL DRAINAGE IS TO COMPLY WITH ABCB HOUSING PROVISIONS STANDARD 2022 PART 3.3







WARNING: ALL DRAWINGS TO BE READ I	N CONJUNCTION WITH DET	AILS. ALL DISCREPANCIES TO BE REPORTED TO D	<b>ESIGN OFFICE PRIOR TO CONSTR</b>	<b>UCTION (A</b>	LLAM DESI	<b>GN DEPARTMENT)</b>	ON (02) 4702 5	960	
Allam Lifestyle Communities	ALL RIGHT RESERVED		Site Address	SITE	147	D. C.		Last Amended	Scale
Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BI N 287	This plan is the property of Allam Homes pty	BANKSIA PLUS-7 DG	Allam Homes Pty Ltd	INSTRUCTIONS	Waste &	& Drainage		CAE	1:200
ACN 003 798 883 BLN 287	Allam Homes pty ltd. Under the provisions of	Traditional	Lot ### Street name	GENERAL:	F 01.09.20	Revision/Date/Version	Serial	Job No	Sheet
Lifestyle COMMUNITIES WORLD Ph 02 47322422 Fx 02 4722 www.allam.com.au	use only as authorised by Allam Homes pty ltd.	Traditional	Suburb (Estate) NSW	HOUSE:	0 01.07.20	A. ##.##.###.V22	1BK7108000	Job no.	01.10



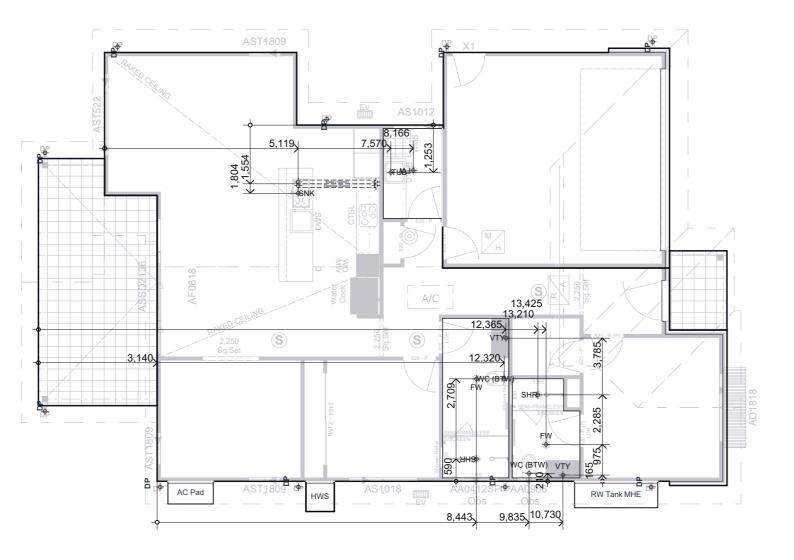
### Termite shields

Shields, suriers or the like must be provided in accordance with AS 3660.1–2000Termite management—new building work and structures, as in force on 1 September 2005, to protect any structural members that are susceptible to attack by termites.

NOTE: All Measurements Are Taken From External Edge Of Slab

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	WARNING: ALL DRAWING	SS TO BE READ IN C	ONJUNCTION WITH DET	TAILS. ALL DISCREPANCIES TO BE REPORTED TO D	<b>ESIGN OFFICE PRIOR TO CONSTR</b>	<b>UCTION (ALL</b>	AM DESI	GN DEPARTMENT)	ON (02) 4702 5	960	
Г		Allam Lifestyle Communities	ALL BIOUT BESERVED		Site Address	SITE			` ′	Last Amended	Scale
	ALLAM M	Level 3, Offices 36-42	This plan is the property of Allam Homes pty	BANKSIA PLUS-7 DG	Allam Homes Pty Ltd	INSTRUCTIONS	lab Sei	tout Ground		CAE	1:100
		ACN 003 798 883 BLN 28701.C	Itd. Copyright in this document is owned by Allam Homes pty Itd. Under the provisions of	T 1'0' 1	Lot ### Street name	GENERAL: F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
	Lifestyle COMMUNITIES MONIERE	Ph 02 47322422 Fx 02 47211811	the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd.	Traditional	Suburb (Estate) NSW	HOUSE: 0	01.07.20	A. ##.##.###.V22	1BK7108000	Job no.	01.11
1	© 2021 Allam Homes Pty Ltd. DO NOT SCALE OFF ARCHITECTU	RAL DRAWINGS			, ,						

MASTER



NOTE: GROUND FLOOR RUNNING DIMENSIONS FROM INSIDE OF EDGE BOARD TO Q OF PENETRATION

NOTE: FIRST FLOOR
RUNNING DIMENSIONS FROM EXTERNAL
TIMBER FRAME/BRICKWORK TO © OF
PENETRATION

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| Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 MSW Blancos and the complete of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd
| Log Allam Homes Pty Ltd | DO NOT SCALE OFF APPOINTSCALE OF APPOINTSCALE OF



Downlight LED

2W Denotes two way control

Internal Wall @ 1900

External Wall @ 1900

Light/Heat/Fan (Ducted To External)

Light Switch

■ LED Light

D Data Point @ 300 (above FL)

T.V. Point @ 300 (above FL)

Electric Hot Water System

**(S)** Smoke Alarm

Air-conditioner Fan Unit

Meter Box

Internal COMS

Alarm Key Panel

Alarm Control Box

Single GPO Double GPO

Single Ext GPO



Double Ext GPO



Ceiling Fan



Ceiling Fan (Incorporated Light)

### **Actron Air Standard Unit Specification (Single Phase)** Model: CRS13AS / EVA13AS

Net (rated) Capacity (KW) Cooling: 13.02 KW

Heating: 15.0 KW

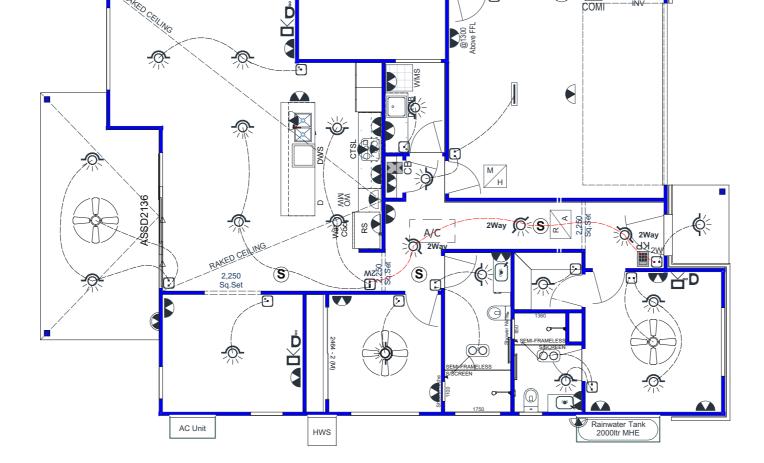
EER Rated Cooling: 3.35 KW EER Rated Heating: 3.51 KW

### General Notes: NCC Approval

- 1. All heights measured from the main floor level unless otherwise noted.
- 2. Light switches @ 1300mm above FFL wall mounted.
- 3. Top of Meter box to be 1900mm maximum above ground level.
- 4. Provide Smoke Alarms in accordance with NCCS Vol 2: Clause 9.5.
- 5. Double GPO to meter box.

### **Electrical wiring**

The electrical wiring in a manufactured home must comply with the requirements of AS/NZS 3000:2000.



GP	O Height Tabl	е
Room Location	Item	Height (mm
Kitchen	GPO	1100
	REF	2050
	RH	1900
	DW	500
	MW	600/1200
Laundry	GPO	1300
Bath/Ens/Pow	GPO	1300
Garage	GPO	1200
	Roller Door	2000
	Panel Door	Ceiling
Other	External GPO	1000
Note :		

All general room GPO's are to measure 300mm above main floor level unless

#### NG: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 SITE INSTRUCTIONS Ground Floor Electrical **BANKSIA PLUS-7 DG** 1:100 Allam Homes Pty Ltd Lot ### Street name **Traditional** M O N T E R E Y Ph 02 47322422 Fx 02 47211811 **Lifestyle COMMUNITIES** HOUSE: 0 01.07.20 A. ##.##.###.V22 1BK7108000 **Job no.** 01.15 Suburb (Estate) NSW © 2022 Allam Homes Pty Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

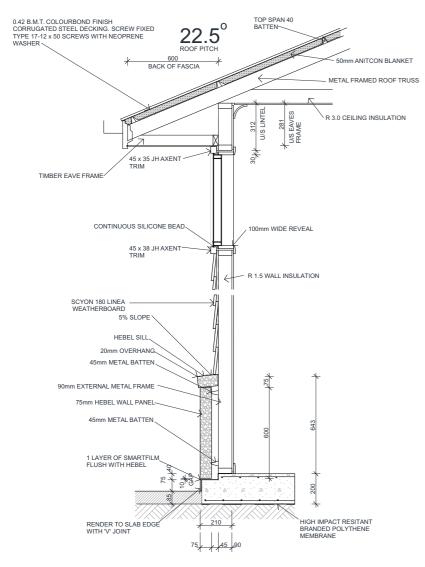
0.42 B.M.T. COLOURBOND FINISH CORRUGATED STEEL DECKING, SCREW FIXED TYPE 17-12 x 50 SCREWS WITH NEOPRENE WASHER:



TYPE B - FULL SCYLON LINEA 180 (16mm) WALL

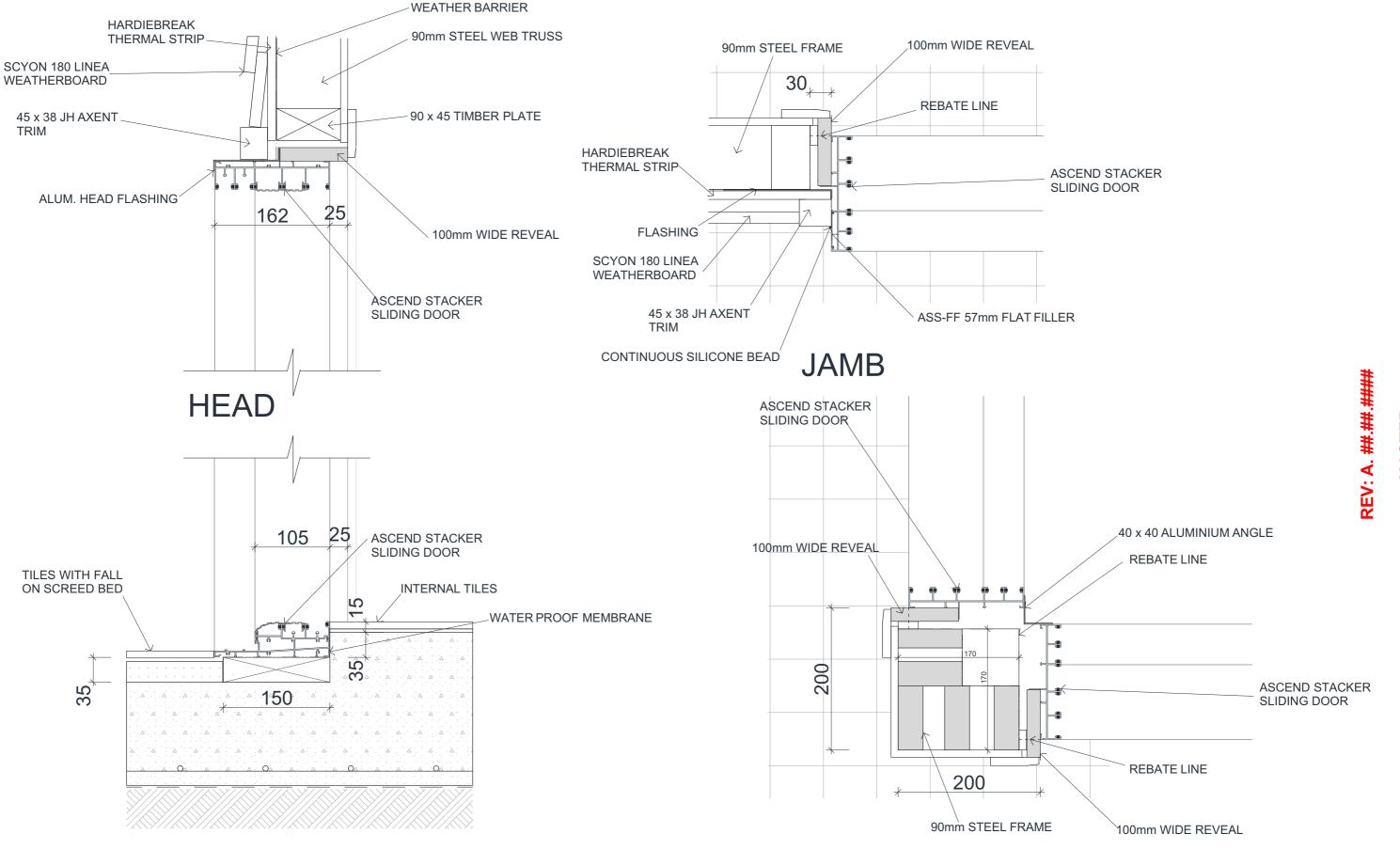
34 12 90 11 10

HIGH IMPACT RESITANT BRANDED POLYTHENE



PERIMETER BEAM - HOUSE TYPE C - COMPOSITE HEBEL (75mm) & SCYLON LINEA 180 (16mm) WALL

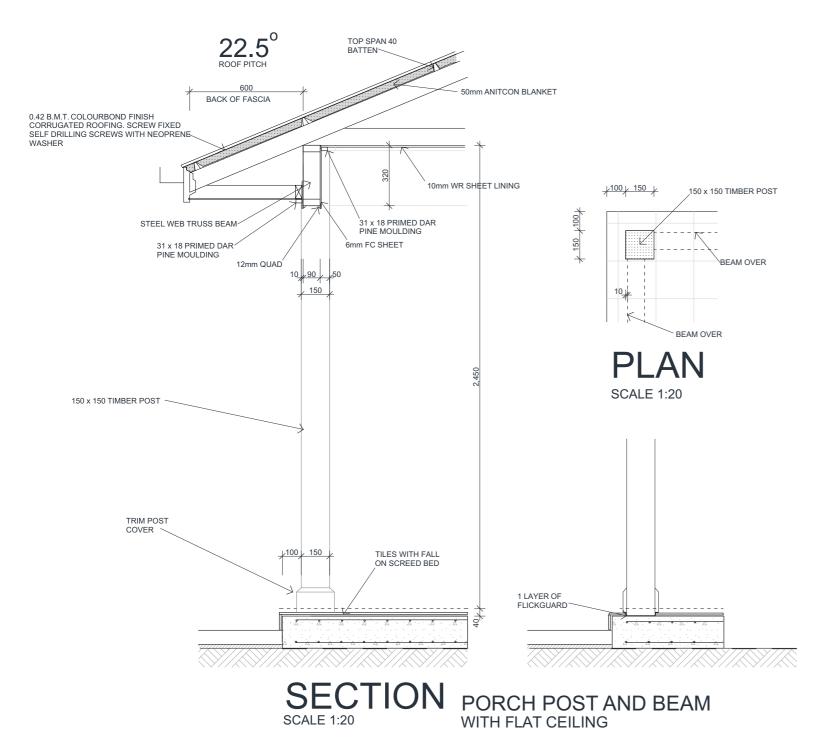


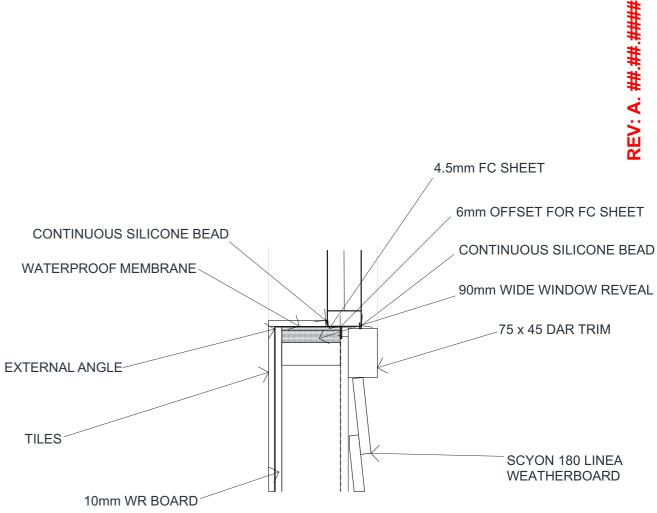


# **THRESHOLD**

# INTERNAL STACKER DOORS JUNCTION

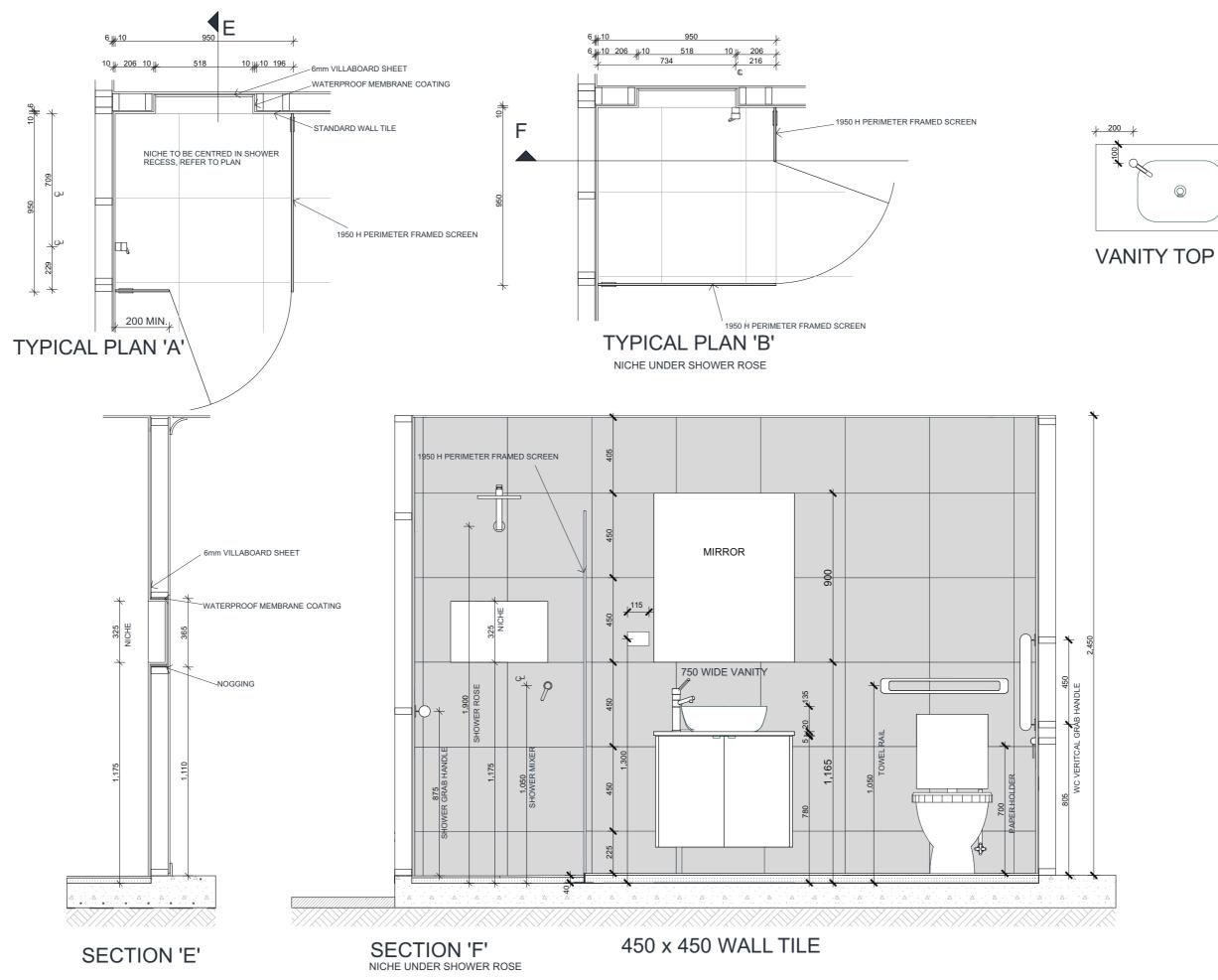
WARNING: ALL DRAWINGS	TO BE READ IN C	<b>ONJUNCTION WITH DET</b>	AILS. ALL DISCREPANCIES TO BE REPORTED TO D	ESIGN OFFICE PRIOR TO CONSTR	UCTION (ALL	AM DESI	GN DEPARTMENT)	ON (02) 4702 5	960	
ALLAGA M	Allam Lifestyle Communities Level 3, Offices 36-42	ALL RIGHT RESERVED. This plan is the property of Allam Homes pty	BANKSIA PLUS-7 DG	Site Address Allam Homes Pty Ltd	SITE INSTRUCTIONS A	ssocia	ted Details 1		Last Amended CAE	Scale REFER TO DETAIL
ALLAM MONTEREY	11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C	Itd. Copyright in this document is owned by Allam Homes pty Itd. Under the provisions of the Copyright ACT 1968 and is intended for	Traditional	Lot ### Street name	GENERAL: F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
Lifestyle COMMUNITIES CANDEN HAYEN	www.allam.com.au	use only as authorised by Allam Homes pty ltd.	Traditional	Suburb (Estate) NSW	HOUSE: 0	01.07.20	A. ##.##.W22	1BK7108000	Job no.	01.17



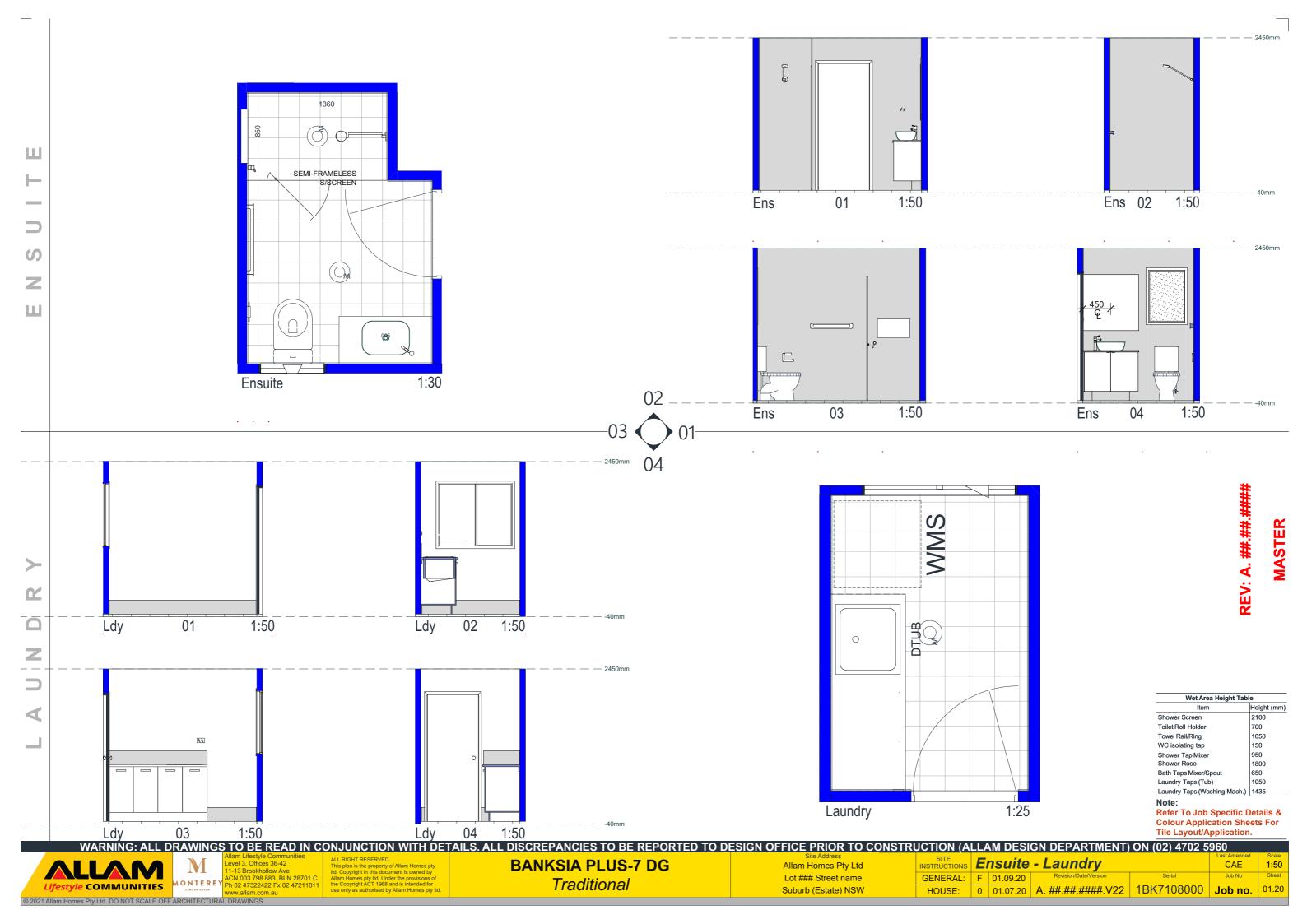


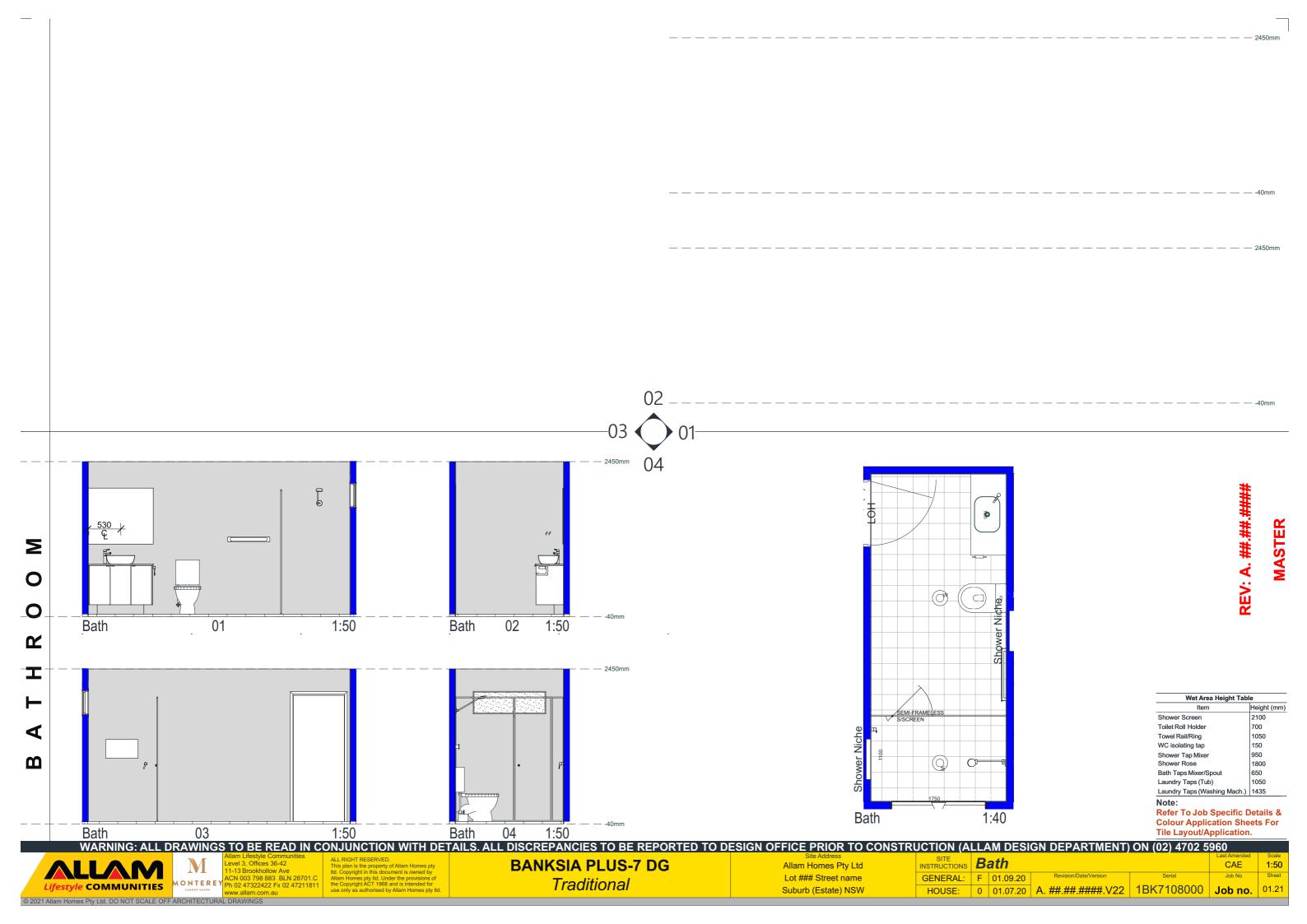
TYPE B - FULL SCYLON LINEA 180 (16mm) WALL

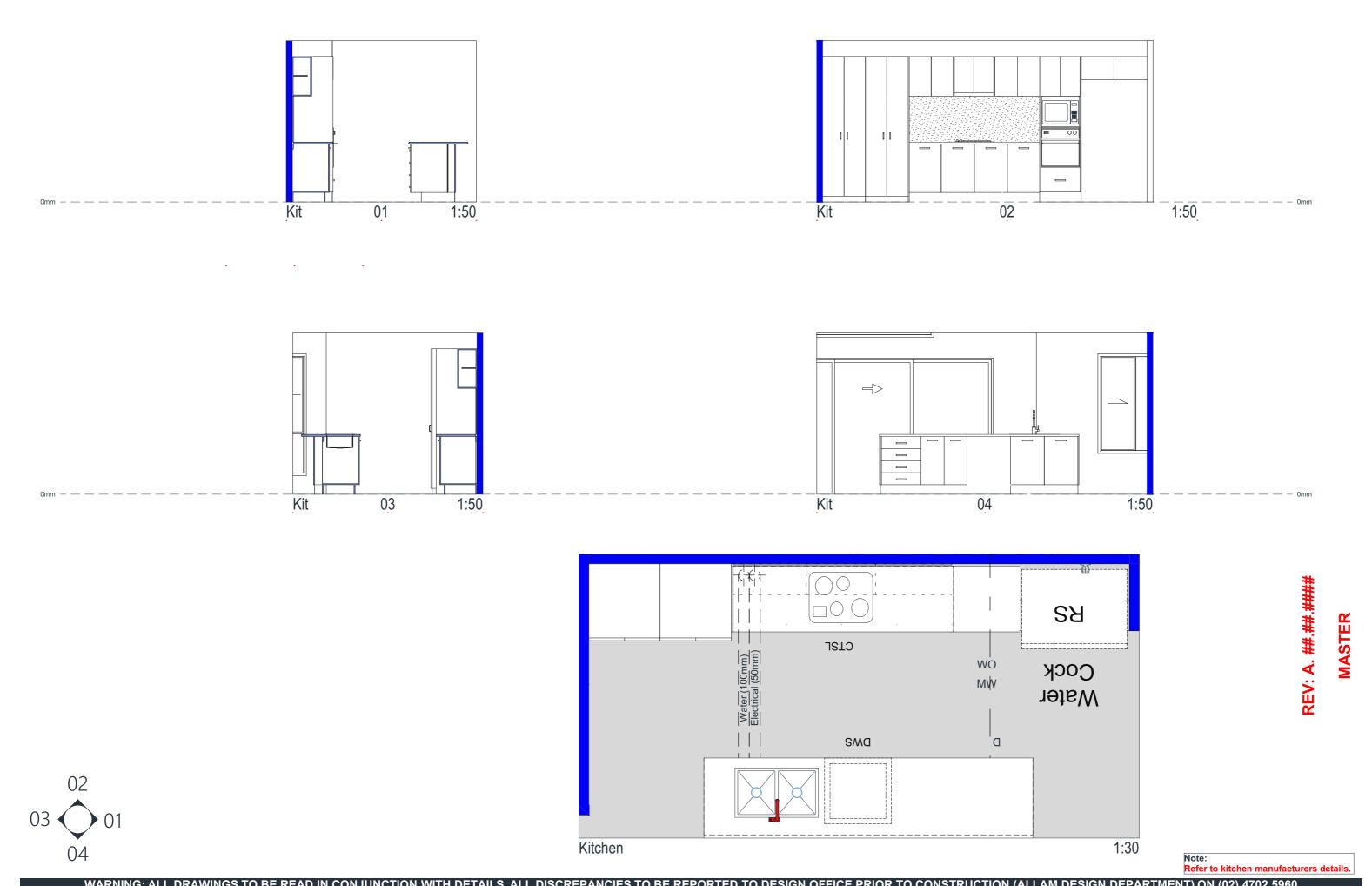
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Allam Lifestyle Communities
Lifestyle COMMUNITIES

Allam Lifestyle Communities
Level 3, Offices 36-42
11-13 Brookhollow Ave
ACN 003 798 883 BlN 28701.C
Ph 002 47322422 Fx 02 4721181
Www.allam.com.au

Allam Lifestyle Communities
Level 3, Offices 36-42
11-13 Brookhollow Ave
ACN 003 798 883 BlN 28701.C
Ph 002 47322422 Fx 02 4721181
Www.allam.com.au

Allam Homes Pty Ltd
Lot ### Street name
Suburb (Estate) NSW

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Scale
Level 3, Offices 36-42
11-13 Brookhollow Ave
ACN 003 798 883 BlN 28701.C
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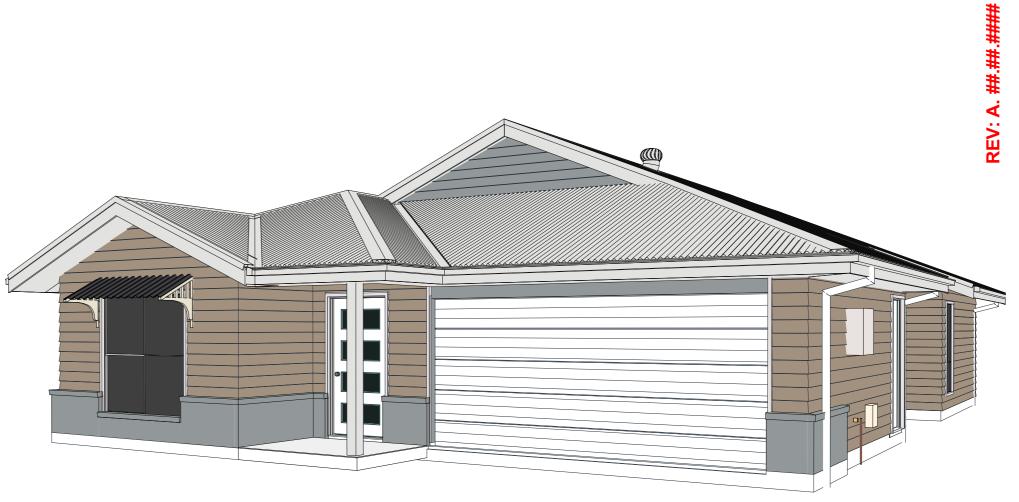


## Finishes Legend

External Scheme - A##
Cladding:

Hebel:

Posts:



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		30. 5	Allam Lifestyle Communities	ALL DIGHT DESERVED		Site Address	SITE	<u> </u>	A 11 41		Last Amended	Scale
	ALLAM	M	Level 3, Offices 36-42	This plan is the property of Allam Homes pty	BANKSIA PLUS-7 DG	Allam Homes Pty Ltd	INSTRUCTIONS	Coloui	Application		CAE	REFER TO DETAIL
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	Lifestyle COMMUNITIES	CAMDEN HAVEN	Ph 02 47322422 Fx 02 47211811 www.allam.com.au	use only as authorised by Allam Homes pty ltd.	Traditional	Suburb (Estate) NSW	HOUSE:	0 01.07.2	A. ##.##.###.V22	1BK7108000	Job no.	01.23
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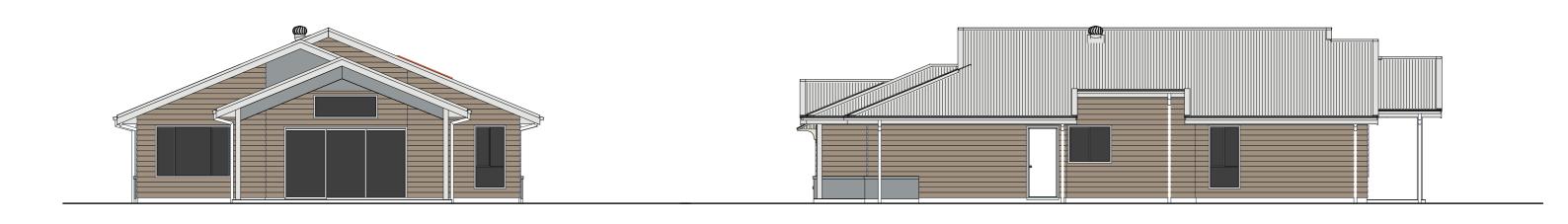
## Finishes Legend

External Scheme - A##

Cladding:

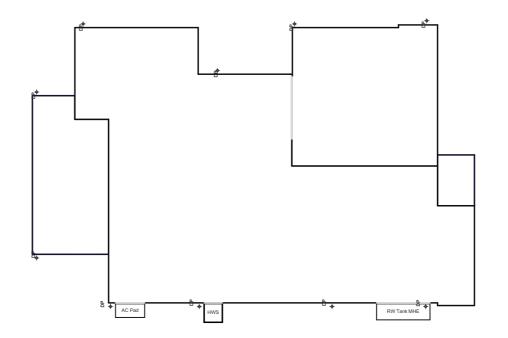
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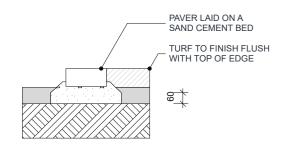
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Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 103 708 883 RI N 28704	ALL RIGHT RESERVED. This plan is the property of Allam Homes pty	BANKSIA PLUS-7 DG	Site Address Allam Homes Pty Ltd	SITE INSTRUCTIONS	Paint Ap	plication		Last Amended CAE	Scale REFER TO DETAIL
MONTE PEY PLONG 1750 605 BEN 2570	.C Allam Homes pty ltd. Under the provisions of	Traditional	Lot ### Street name	GENERAL:	F 01.09.20	Revision/Date/Version	Serial	Job No	Sheet
Lifestyle COMMUNITIES  CAMPEN MAYEN  WWW.allam.com.au	use only as authorised by Allam Homes pty ltd.	I I AUILIUI IAI	Suburb (Estate) NSW	HOUSE:	0 01.07.20	A. ##.##.##.V22	1BK7108000	Job no.	01.24





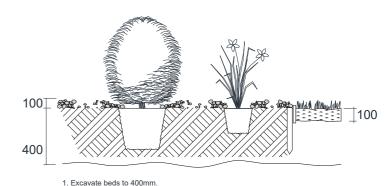
NOTE: Gates to be made from same materials as fence, All fixings to be galvanised, trip latches fitted

### FENCE - TYPE B



Note: stakes should not be required to support trees. However, should stakes be used 80mm mulch dished around to protect/shield plant during base of plant-do not allow establishment period, ensures mulch to be in contact stakes do not pierce rootball. with stem Tiles should be in figure 8 configuration using jute webbing or Velcro ties Planting hole to be min. 300mm wider and 150mm deeper than container. Backfill with 3:1 insitu soil to sandy loam Scarify sides and base of planting hole Select advanced stock grown to NATSPEC Guidelines Insitu soil Provide spade edge (if located within lawn). . Re-cut as part of regular 10-20mm aggregate to Rootball-reject stock with 100mm depth (increase depth) spiraling roots or confined of planting hole in poor soils) to assist in subsoil drainage In clay and heavy soils . Subsoil drainage to be installed and 2 x 21gm "Agriform" fertilizer connected to approved outlets tablets or equivalent there of Break up subsoil to a min

### TREE PLANTING FOR ADVANCED STOCK



Backfill bed with excavated soil mixed with an improved soil mixed with an improved garden loam.

## PLANTED BEDS

## **GARDEN EDGE DETAIL**

## LANDSCAPE SPECIFICATIONS

### TURF AREA:

- Turf Underlay: - Turf:

100mm thick layer of screened top soil

Kikuyu Turf

#### GARDEN AREA:

- Soil: - Mulch:

300mm thick layer of premium garden mix. 75mm thick layer of 10mm pine bark mulch.

- Plants per site average:

2 x 25L pot size trees

20 x 300mm pot size plants

20 x 200mm pot size plants

15 x 140mm pot size plants.

Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists;

15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant 45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant.

Tiles shall be 50mm wide hessian webbing

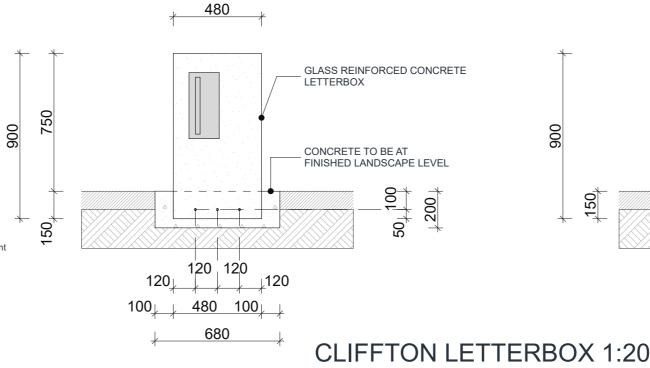
#### BRICK EDGE:

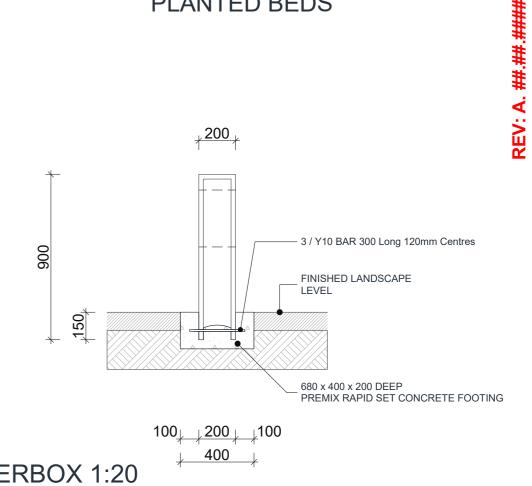
#### PEBBLE AREA:

- Pebble underlay

: 100mm - 200mm thick layer of consolidated road base

: 75mm thick layer of 20mm decorative pebbles.





**SECTION** 

Lifestyle COMMUNITIES

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300mm depth

**BANKSIA PLUS-7 DG Traditional** 

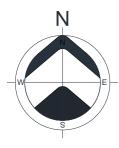
**ELEVATION** 

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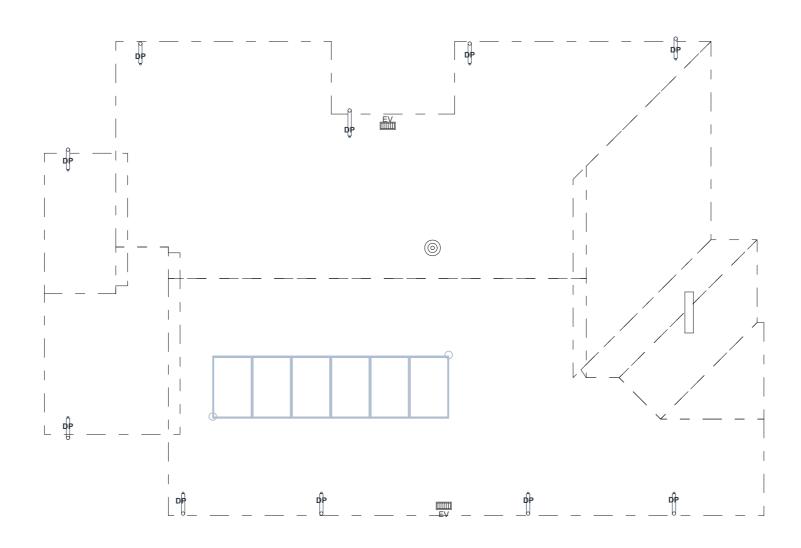
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- 50mm thick charcoal Havenbrick on sand and cement mix.

- Pebble



PV LAYOUT	
SYSTEM SIZE	2.49kW
PANELS	(6) 415 W Panel (1762 x 1134 x 30)



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